

COUNTY COUNCIL OF BEAUFORT COUNTY
ADMINISTRATION BUILDING
BEAUFORT COUNTY GOVERNMENT ROBERT SMALLS COMPLEX
100 RIBAUT ROAD
POST OFFICE DRAWER 1228
BEAUFORT, SOUTH CAROLINA 29901-1228
TELEPHONE: (843) 255-2180
www.bcgov.net

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COUNTY ATTORNEY

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CLERK TO COUNCIL

AGENDA
COMMUNITY SERVICES COMMITTEE

Monday, January 22, 2018

3:30 p.m.

Executive Conference Room, Administration Building
Beaufort County Government Robert Smalls Complex
100 Ribaut Road, Beaufort

Staff Support:
Monica Spells, Assistant County Administrator
Civic Engagement and Outreach

1. CALL TO ORDER – 3:30 P.M.
2. FACILITY PROJECT UPDATES (AS RELATED TO THE COMMITTEE'S EXTERNAL RESPONSIBILITIES AS COUNCIL'S REPRESENTATIVE) ([backup](#))
 - A. Construction of three new homes for the Beaufort County Disabilities and Special Needs Department to replace the Beaufort County Community Residential Care Facility in Port Royal
 - B. Expansion of the Beaufort County Elections and Voter Registration Building
3. UPDATE/HUMAN SERVICES ALLIANCE ([backup](#))
 - A. Collaborative Organization of Services for Adults (COSA)
 - B. Housing, Homelessness and Vulnerability
 - C. Resolution Draft - Stepping Up: A National Initiative to Reduce the Number of People with Mental Illnesses in Jails (Introduced by The National Association of Counties, the Council of State Governments, and the American Psychiatric Association Foundation)
4. DISCUSSION/ BEAUFORT MEMORIAL HOSPITAL (FOLLOW UP FROM OCTOBER 2017 PRESENTATION TO THE COMMITTEE REGARDING THE STATE OF THE HOSPITAL)
5. CONSIDERATION OF REAPPOINTMENTS AND APPOINTMENTS
 - A. Alcohol and Drug Abuse Board
 - B. Beaufort/Jasper Equal Opportunity Commission
 - C. Beaufort Memorial Hospital Board
 - D. Disabilities and Special Needs Board
 - E. Library Board
6. ADJOURNMENT

2017 Strategic Plan Committee Assignments
Affordable /Workforce Housing
Housing Survey
Residential Homes (3) Port Royal





FACILITY PROJECT UPDATE:

Three New Homes for the Beaufort County Disabilities and Special Needs Department



COUNTY COUNCIL OF BEAUFORT COUNTY

PURCHASING DEPARTMENT

102 Industrial Village Road, Bldg 2 - Post Office Drawer 1228
Beaufort, South Carolina 29901-1228

INFORMATIONAL ONLY - AWARD APPROVED IN 2017

TO: Council Member Brian E. Flewelling, Chairman, Natural Resources Committee

FROM: Dave Thomas, CPPO, Purchasing Director

SUBJ: **Sole Source Purchase Request of Three New Homes from Hutter Construction Corporation and Salt Line Construction for the Beaufort County Disabilities and Special Needs Department**

DATE: November 15, 2017

BACKGROUND: The Purchasing Department received a request from the Disabilities and Special Needs (DSN) Department to purchase three homes in support of replacing the Beaufort County Community Residential Care Facility located in the Town of Port Royal at 1508 Old Shell Road; this facility is aging and no longer meets Federal and State compliance requirements of those it is meant to serve. Transitioning the current residents of this facility into the requested homes will better enable DSN to provide the necessary ongoing care for them in safer, more appropriate housing, while also affording them the opportunity to be in a place which is better integrated into the fabric of Beaufort County.

These homes will be built to accommodate DSN consumers and will adhere to applicable ADA standards. In addition to having four bedrooms, each home will have two bathrooms and a staff office with a half-bath. The South Carolina Department of Disabilities and Special Needs (SCDDSN) will reimburse Beaufort County the full sale price of the current Port Royal property when sold, allowable via a budget proviso passed by the South Carolina General Assembly. SCDDSN will reimburse Beaufort County for the sprinkler system installation and \$8,000 per home for furnishings.

DSN encountered obstacles with developers not being able to accommodate the design specs for people with disabilities, as well as concerns about having DSN homes in certain communities. Consequently, staff negotiated the purchase price through competitive research after working with a local real estate agent to find suitable land and cooperative builders. The County's Small and Minority Business Provisions do not apply to this procurement. The recommended vendors are local firms.

CONTRACTOR INFORMATION

COST

1. Hutter Construction Corporation, Beaufort, SC (home in Live Oaks development)	\$ 350,000
2. Salt Line Construction, Port Royal, SC (home on Waddell Road)	\$ 350,000
3. Salt Line Construction, Port Royal, SC (home on Center Drive West)	<u>\$ 317,000</u>
	<u>\$1,017,000</u>

FUNDING: Fund balance account 24470011-54410 Disabilities and Special Needs - Building Acquisition. The fund balance exceeds the amount needed to purchase these three homes at \$3,483,090.99.

FOR ACTION: Natural Resources Committee meeting occurring November 20, 2017.

RECOMMENDATION: The Purchasing Department recommends that the Natural Resources Committee approve the contract awards to purchase the three homes from the aforementioned vendors for a total cost of \$1,017,000.

CC: Joshua A. Gruber, Interim County Administrator
Alicia Holland, Assistant County Administrator, Finance
Monica N. Spells, Assistant County Administrator, Civic Engagement and Outreach
Bill Love, Disabilities and Special Needs Executive Director

Attachments:

Home Plans and Pricing Information

Section 36.16, Proviso for FY 2017-18, South Carolina House Ways and Means Committee

**SUMMARY OF PROVISO CHANGES FOR FY 2017-18
AS RECOMMENDED BY
THE HOUSE WAYS AND MEANS COMMITTEE**

SECTION 35 - J120 - DEPARTMENT OF MENTAL HEALTH

- 35.7** **AMEND** (Deferred Maintenance, Capital Projects, Ordinary Repair and Maintenance) Authorizes the department to establish an interest bearing fund with the State Treasurer to deposit deferred maintenance funds and other one-time funds from any source. Authorizes the department to spend these funds for deferred maintenance, capital projects and ordinary repair and maintenance. Authorizes the funds to be carried forward and used for the same purpose.
WMC: AMEND proviso to delete specific reference to depositing funds “appropriated” for deferred maintenance and other one-time funds from any source. Authorize the department to retain and deposit into the fund the proceeds from the sale of excess real property owned by, under the control of, or assigned to the department. Requested by Department of Mental Health.
- 35.8** **ADD** (Lease Payments to SFAA for SVP Program) **WMC:** ADD new proviso to exempt Sexually Violent Predator Program lease payments to SFAA from any across-the-board base reductions.

SECTION 36 - J160 - DEPARTMENT OF DISABILITIES AND SPECIAL NEEDS

- 36.7** **AMEND** (Unlicensed Medication Providers) Authorizes the department to license or certify select unlicensed persons in community-based programs to provide select medications. Limits the medications allowed to be administered. Requires the department to establish curriculum and standards for training and oversight. Directs that this provision does not apply to an intermediate care facility for individuals with intellectual and/or related disability.
WMC: AMEND proviso to change “selected” to “designated” unlicensed persons. Direct that unlicensed persons must have documented “successful completion of” medication training and direct that in addition to nurses, “licensed pharmacists and licensed medical doctors” may train and supervise designated unlicensed persons to provide medication. Amend the type of medications designated unlicensed persons may provide. Require a written or electronic record about each medication be provided as part of the provision of medication. Direct that nurses, pharmacists and medical doctors that train, approve, and supervise designated unlicensed persons shall be protected against tort liability. Requested by Department of Disabilities and Special Needs.
- 36.16** **ADD** (Beaufort DSN Facility) **WMC:** ADD new proviso to authorize the department to retain the full amount of proceeds from the sale of the local DSN Board of Beaufort County property. Direct that funds from the sale must be used to purchase new property for the local DSN Board that better meets the needs of those served. Authorize unexpended funds to be carried forward and used for the same purpose. Direct the department to provide a status report to the Beaufort County Legislative Delegation by June 30, 2018 that details the retention of any sale proceeds and/or expenditures of the funds.

SECTION 38 - L040 - DEPARTMENT OF SOCIAL SERVICES

- 38.3** **AMEND** (~~Foster Children~~ Burial Expenses) Directs that the expenditure of funds allocated for burials of foster children not exceed \$1,500 per burial.
WMC: AMEND proviso to include adults who are in DSS custody. Requested by Department of Social Services.

SCALE: 1/8" = 1'-0"

S50°44'01"W
20.30'
1 1/2" REBAR FOUND

5X5
CMF

3X3
CMF

3X3
CMF

N 00°02'00" E 95.00'

~~CONFIDENTIAL~~

CHAIN LINK FENCE

1/2" ROD SET

1 SITE PLAN
A101 SCALE: 1/8" = 1'-0"

SITE PLAN
SCALE: 1/8" = 1'-0"

LOT 74
13,557.45 Sq. Feet
0.31 Acres

13,557.45 Sq. Feet
0.31 Acres

13,557.45 Sq. Feet
0.31 Acres

^{31}P

12"DW.

OVER HEAD WIRE

1/2" ROD
SET

LOT 753

☐ RELEASED FOR CONSTRUCTION
☒ NOT FOR CONSTRUCTION

TMA ARCHITECT
T. MICHAELS - ARCHITECT
PORT ROYAL, SC
843.252.2154

**NEW RESIDENCE:
608 CENTER DRIVE WEST
BEAUFORT, SOUTH CAROLINA**

							7
							6
							5
							0
							9
							8
							7
							6
							5
							4
							3
							2
							1
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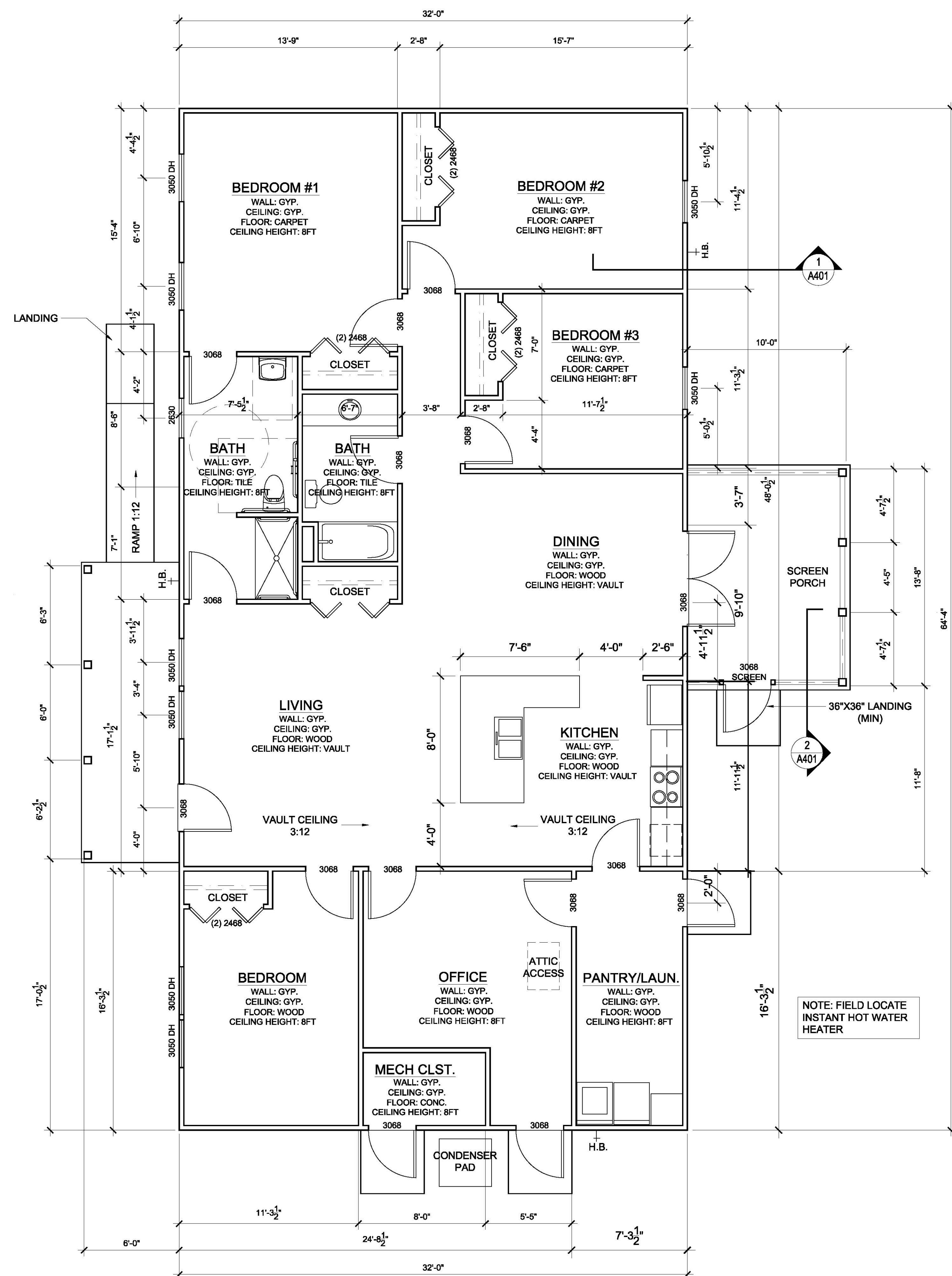
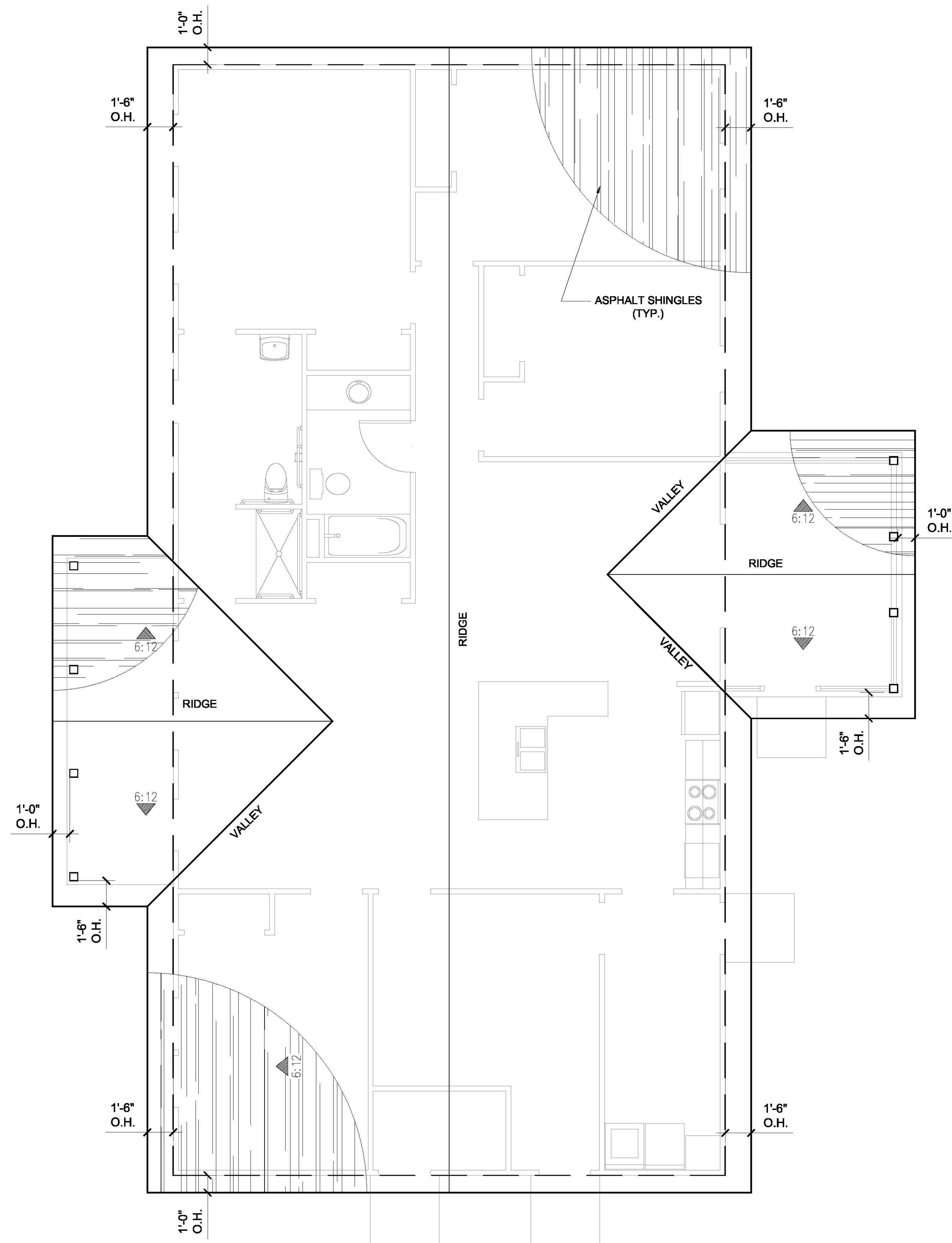
Sheet Title

SITE PLAN

Drawn By:	<i>T. Michael</i>
Chk'd By:	<i>T. Michael</i>
Project ID:	<i>17-01</i>

Sheet No.
A101

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T. MICHAELS - ARCHITECT
PORT ROYAL, SC
843 252 2454

**NEW RESIDENCE:
608 CENTER DRIVE WEST
BEAUFORT, SOUTH CAROLINA**

CBEA

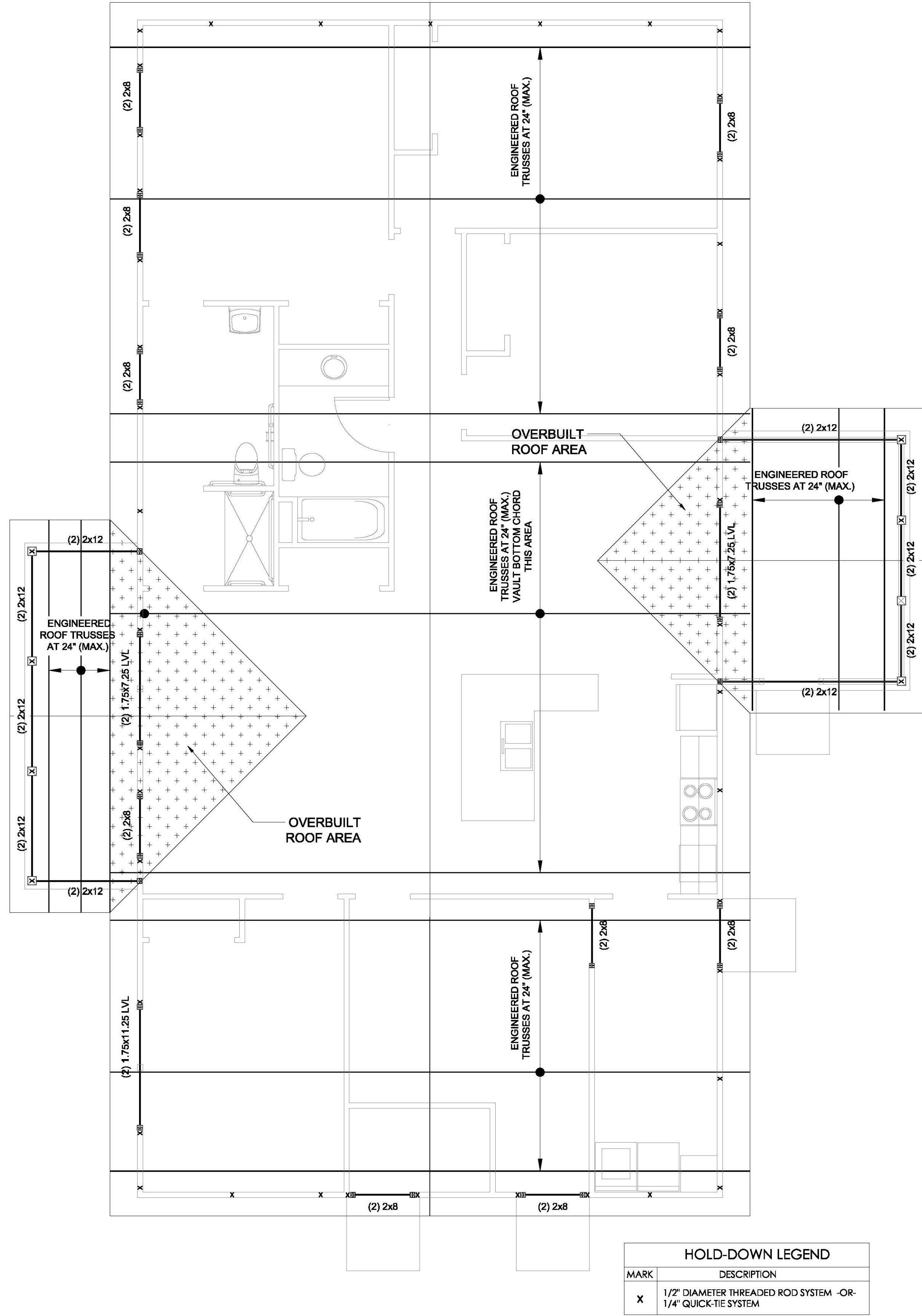
[illegible]

Sheet Title
**FOUNDATION
/ FLOOR PLAN**

Drawn By:	T. Michael
Chk'd By:	T. Michael
Project ID:	17-01

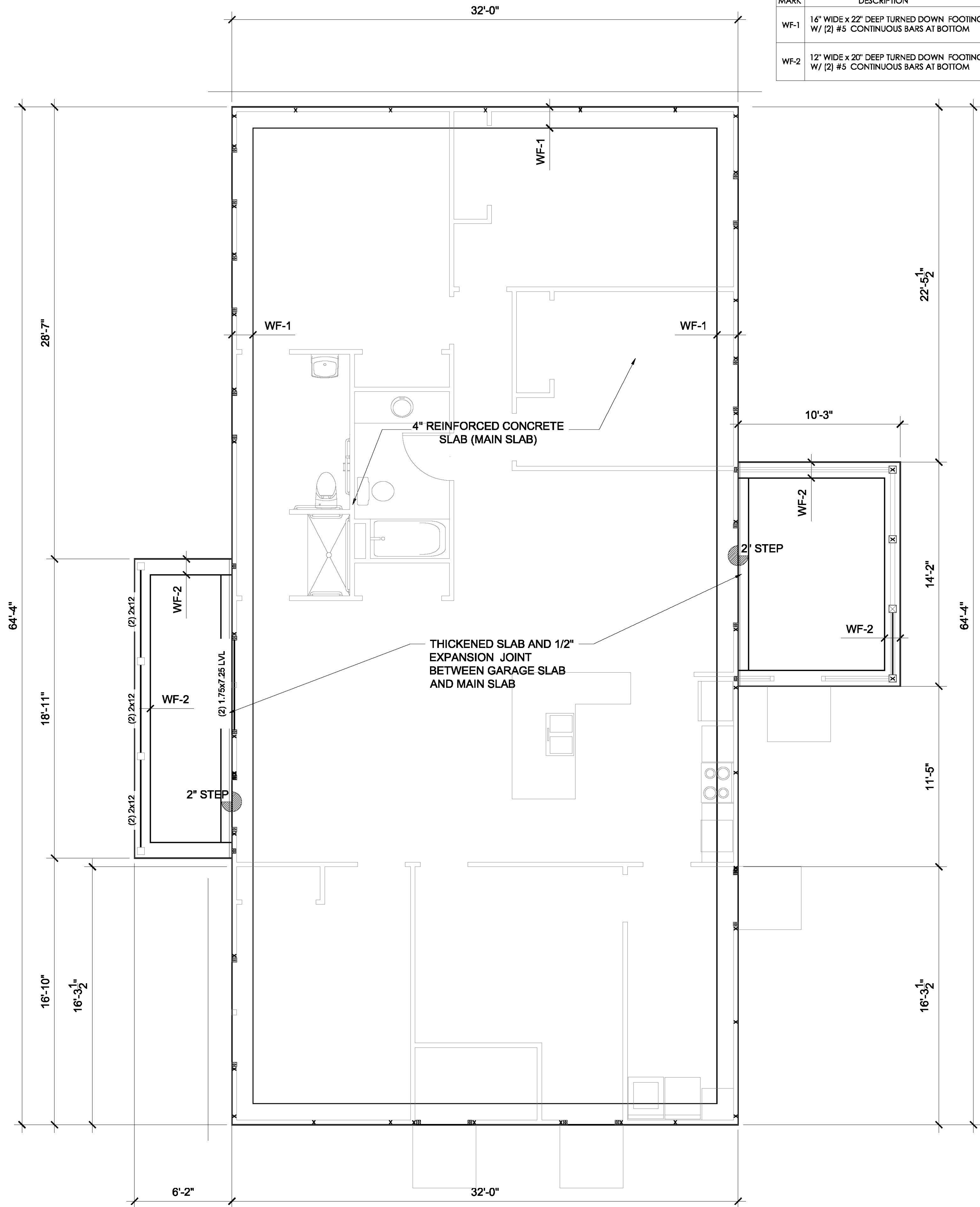
Sheet No.

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2 FOUNDATION PLAN
A201 SCALE: 1/4" = 1'-0"

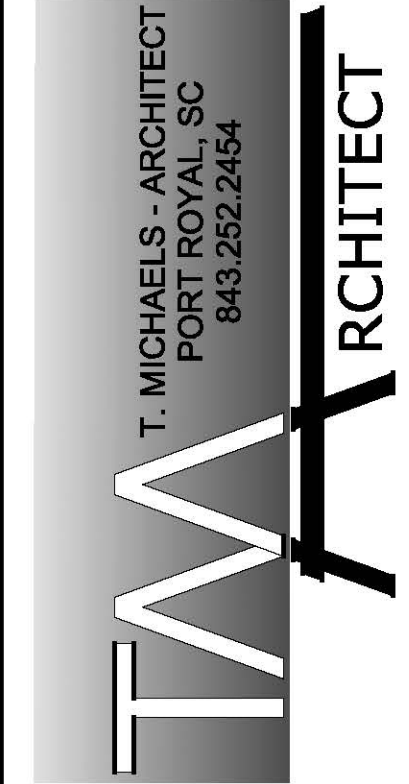
MARK	DESCRIPTION
X	1/2" DIAMETER THREADED ROD SYSTEM -OR- 1/4" QUICK-TIE SYSTEM



2 FOUNDATION PLAN
A201 SCALE: 1/4" = 1'-0"

MARK	DESCRIPTION
WF-1	16" WIDE x 22" DEEP TURNED DOWN FOOTING W/ (2) #5 CONTINUOUS BARS AT BOTTOM
WF-2	12" WIDE x 20" DEEP TURNED DOWN FOOTING W/ (2) #5 CONTINUOUS BARS AT BOTTOM

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☒ NOT FOR CONSTRUCTION



NEW RESIDENCE:
608 CENTER DRIVE WEST
BEAUFORT, SOUTH CAROLINA

No.	Issue / Revision Description	Date

Sheet Title
ROOF PLAN /
ROOF
FRAMING
PLAN
Drawn By: T. Michaels
Chk'd By: T. Michaels
Project ID: 17-013

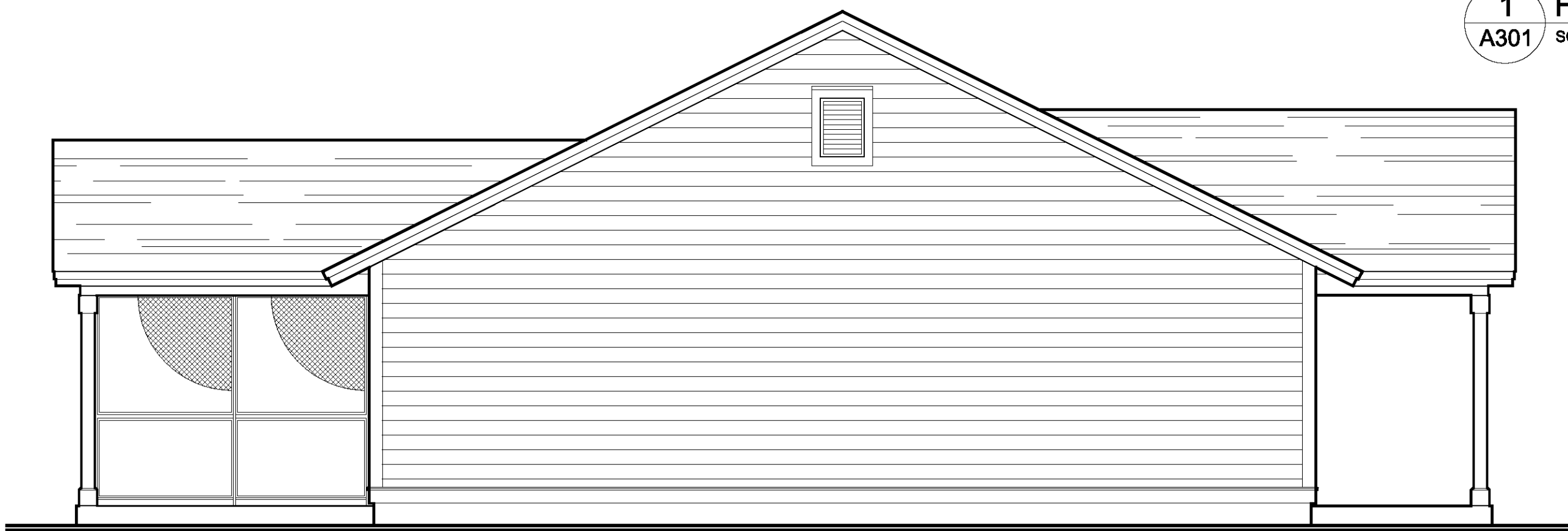
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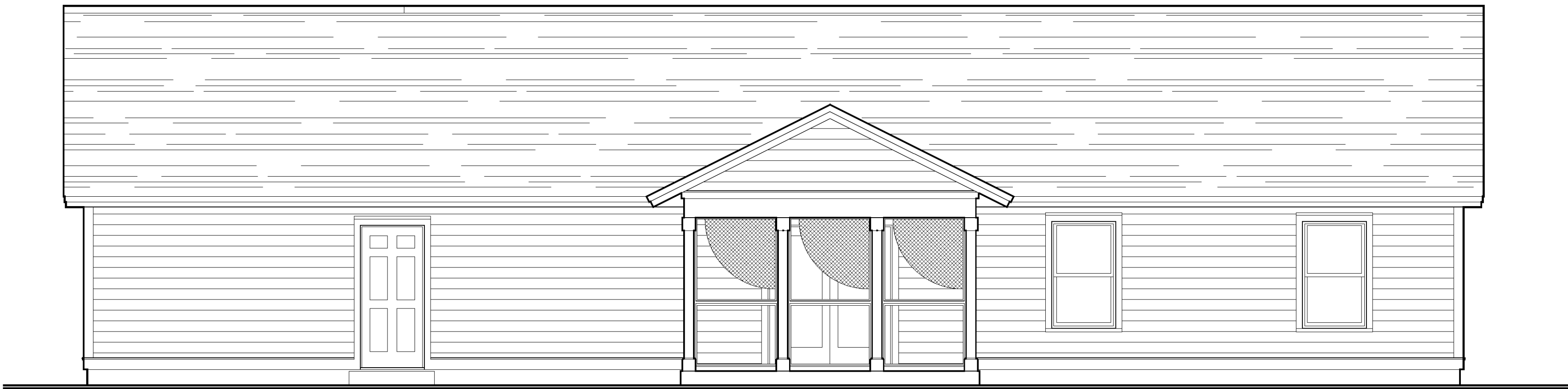
4 RIGHT ELEVATION
A301 SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION
A301 SCALE: 1/4" = 1'-0"

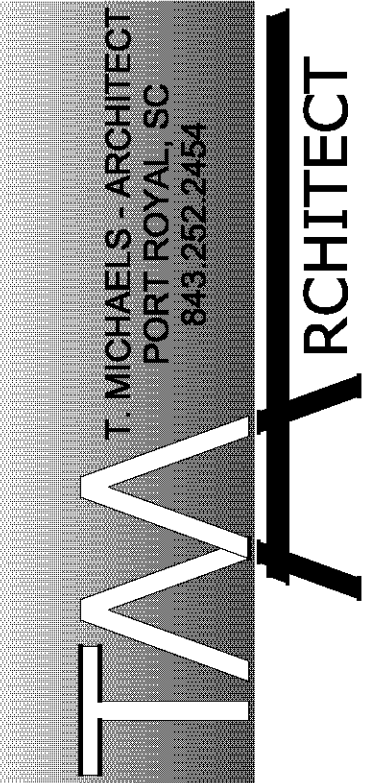


3 RIGHT ELEVATION
A301 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
A301 SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION
NOT FOR CONSTRUCTION



NEW RESIDENCE:
608 CENTER DRIVE WEST
BEAUFORT, SOUTH CAROLINA

No.	Issue / Revision Description	Date

Sheet Title
ELEVATIONS

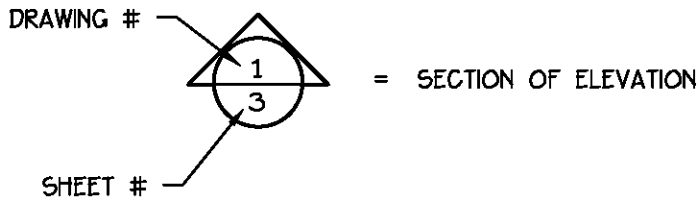
Drawn By: T. Michaels
Chk'd By: T. Michaels
Project ID: 17-013

Sheet No.
A301

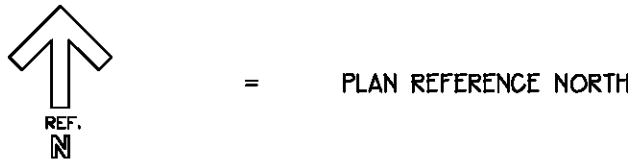
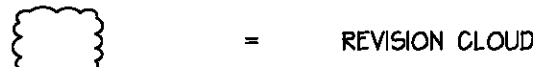
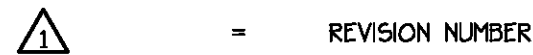
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SYMBOLS + KEYS

DOOR AND WINDOW SIZE KEY
2860 = 2'-8" WIDE x 6'-0" HIGH



1 DRAWING TITLE
DETAIL OR ELEVATION NUMBER



	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	DUPLEX OUTLET
	WATER PROOF OUTLET
	GROUND FAULT OUTLET
	SPECIALTY OUTLET
	FLOOR OUTLET
	TELEPHONE JACK
	TELEVISION JACK
	VENT
	VENT W/ LIGHT
	SURFACE MOUNTED FIXTURE
	RECESSED FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	FLOURESCENT FIXTURE
	CEILING FAN
	STRIP LIGHTING
	CEILING BOX
	DOOR CHIME
	ELECTRICAL PANEL
	SMOKE ALARM



CONCEPTUAL RENDERING

DRAWING INDEX

- 0 COVER SHEET
- 1 FLOOR, ROOF + ELECTRICAL PLAN
- 2 FOUNDATION PLAN
- 3 DETAILS
- 4 ELEVATIONS
- SP1 SPECIFICATIONS
- SP2 SPECIFICATIONS
- SP3 SPECIFICATIONS

GENERAL INFO.

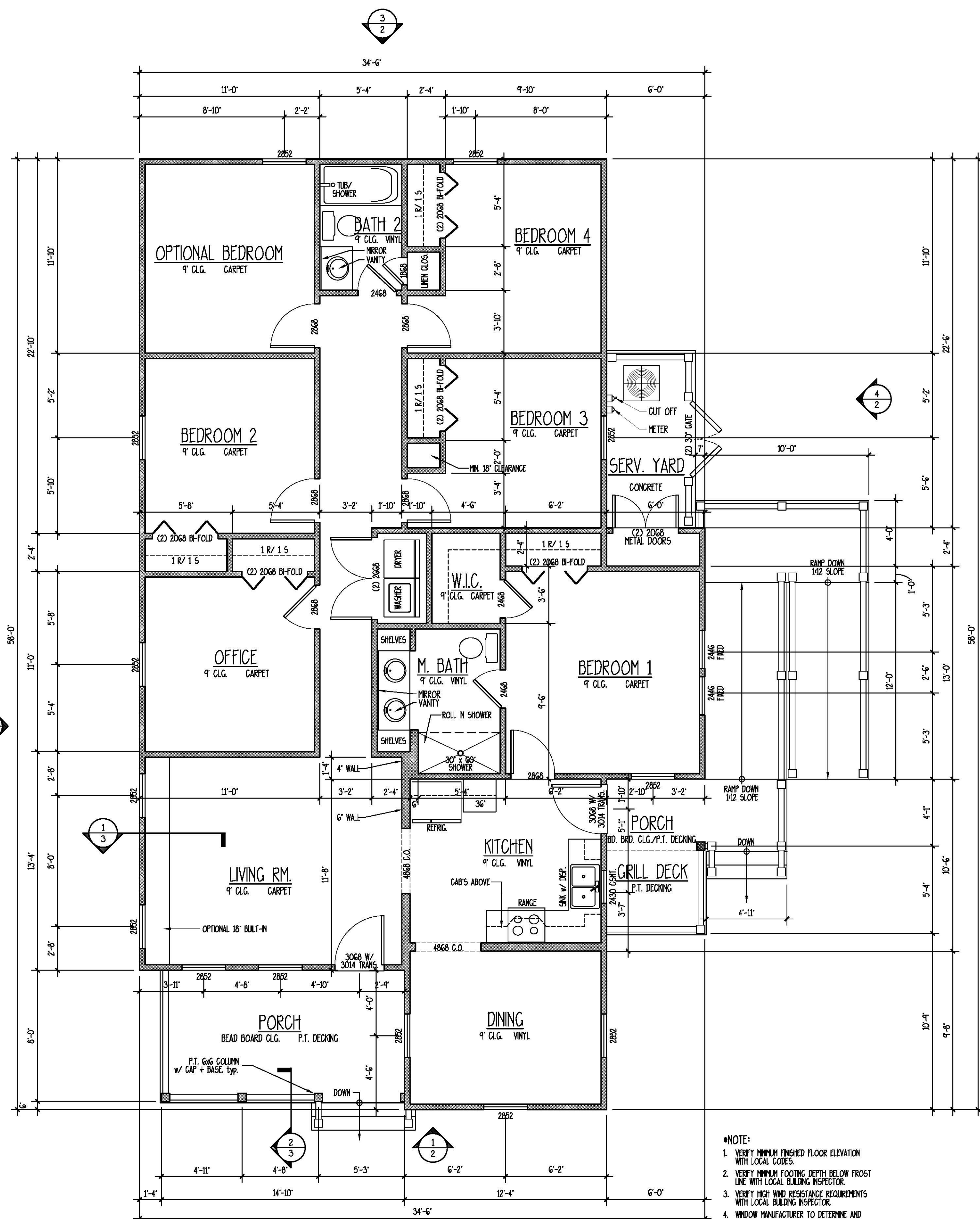
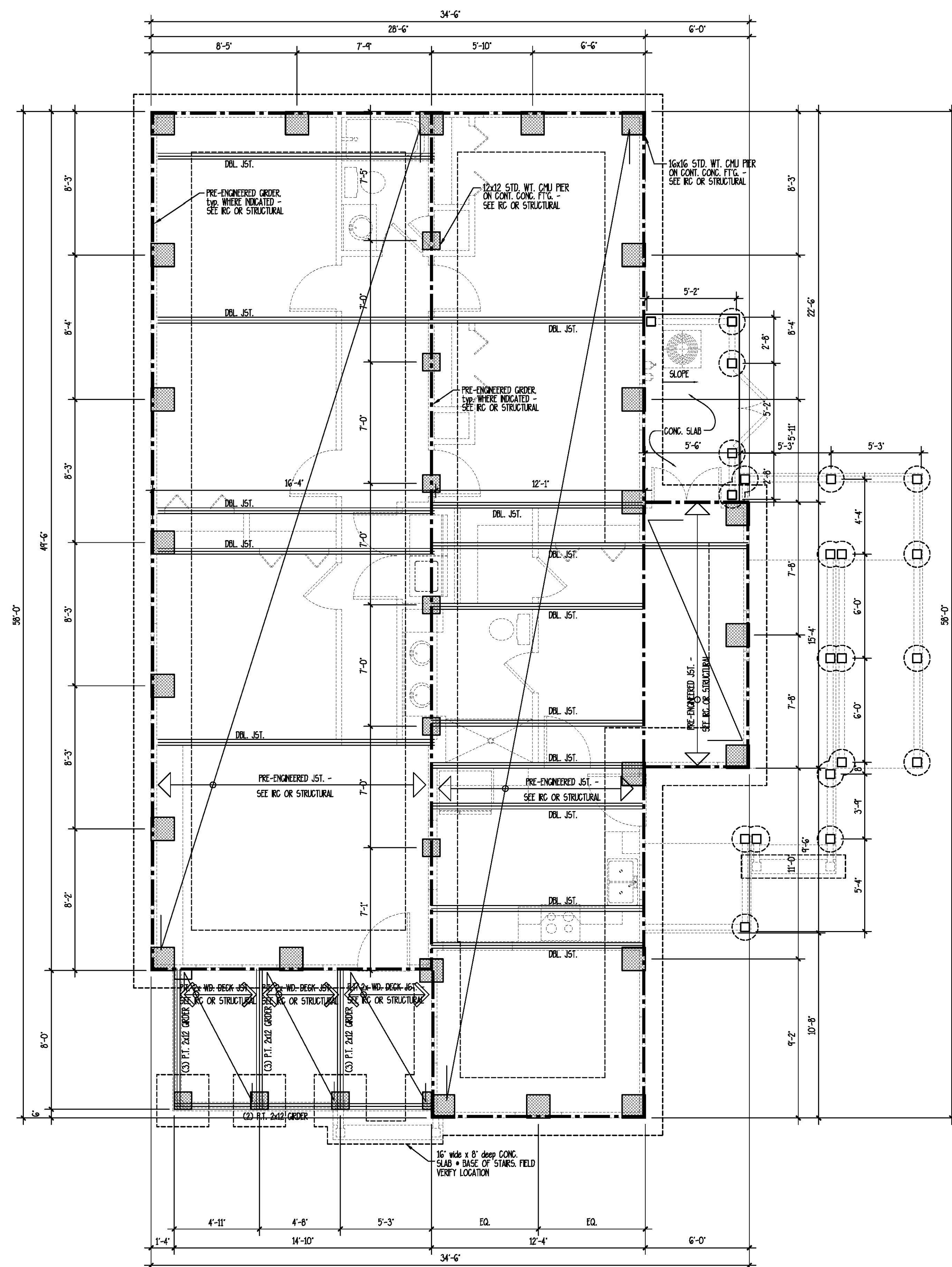
AREA CALCULATIONS	
FIRST FLOOR HEATED	1285 sq. ft.
COVERED PORCHES	147 sq. ft.
DECK	31 sq. ft.

DUKE STREET

DATE :	11/03/17
JOB NO. :	173334
DWN BY :	JC
DRAWING NAME :	Model C 4.dwg

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1003 Charles St.
Beaufort SC, 29902
(843) 986-0559
www.allisonramseyarchitect.com

THIS PLAN HAS BEEN PREPARED TO MEET TOP PROFESSIONAL STANDARDS AND PRACTICES. HOWEVER, BUILDING CODES AND ENVIRONMENTAL CONDITIONS VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PACKAGE OF THIS PLAN TO PERFORM THE FOLLOWING: -VERIFY ALL DIMENSIONS, ROOM TO PROCEEDING WITH CONSTRUCTION -VERIFY COMPLIANCE WITH ALL LOCAL CODES -PLANS INDICATE LOCATIONS ONLY, ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS. -PLANS INDICATE LOCATIONS ONLY, ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS. -VERIFY ALL DIMENSIONS, ROOM TO PROCEEDING WITH CONSTRUCTION -VERIFY COMPLIANCE WITH ALL LOCAL CODES -PLANS INDICATE LOCATIONS ONLY, ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS. -VERIFY ALL DIMENSIONS, ROOM TO PROCEEDING WITH CONSTRUCTION -VERIFY COMPLIANCE WITH ALL LOCAL CODES -PLANS INDICATE LOCATIONS ONLY, ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

***NOTE:**

1. VERIFY MINIMUM FINISHED FLOOR ELEVATION WITH LOCAL CODES.
2. VERIFY MINIMUM FOOTING DEPTH BELOW FROS LINE WITH LOCAL BUILDING INSPECTOR.
3. VERIFY HIGH WIND RESISTANCE REQUIREMENTS WITH LOCAL BUILDING INSPECTOR.
4. WINDOW MANUFACTURER TO DETERMINE AND VERIFY THAT ALL EGRESS WINDOWS ARE IN COMPLIANCE WITH LOCAL CODES.

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DATE: 11/03/17

JOB NO. : 173134

DWN BY : J

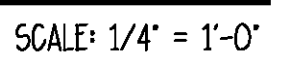
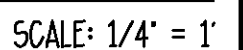
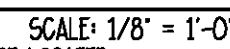
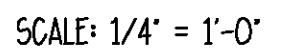
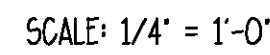
DRAWING NAME : 173134

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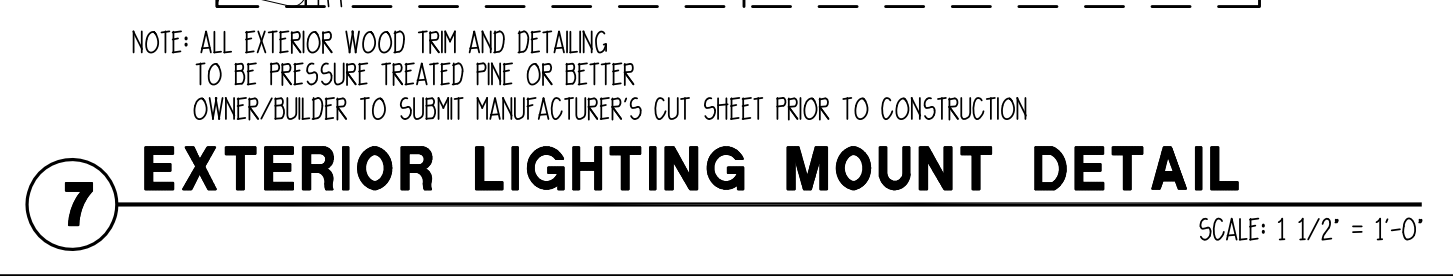
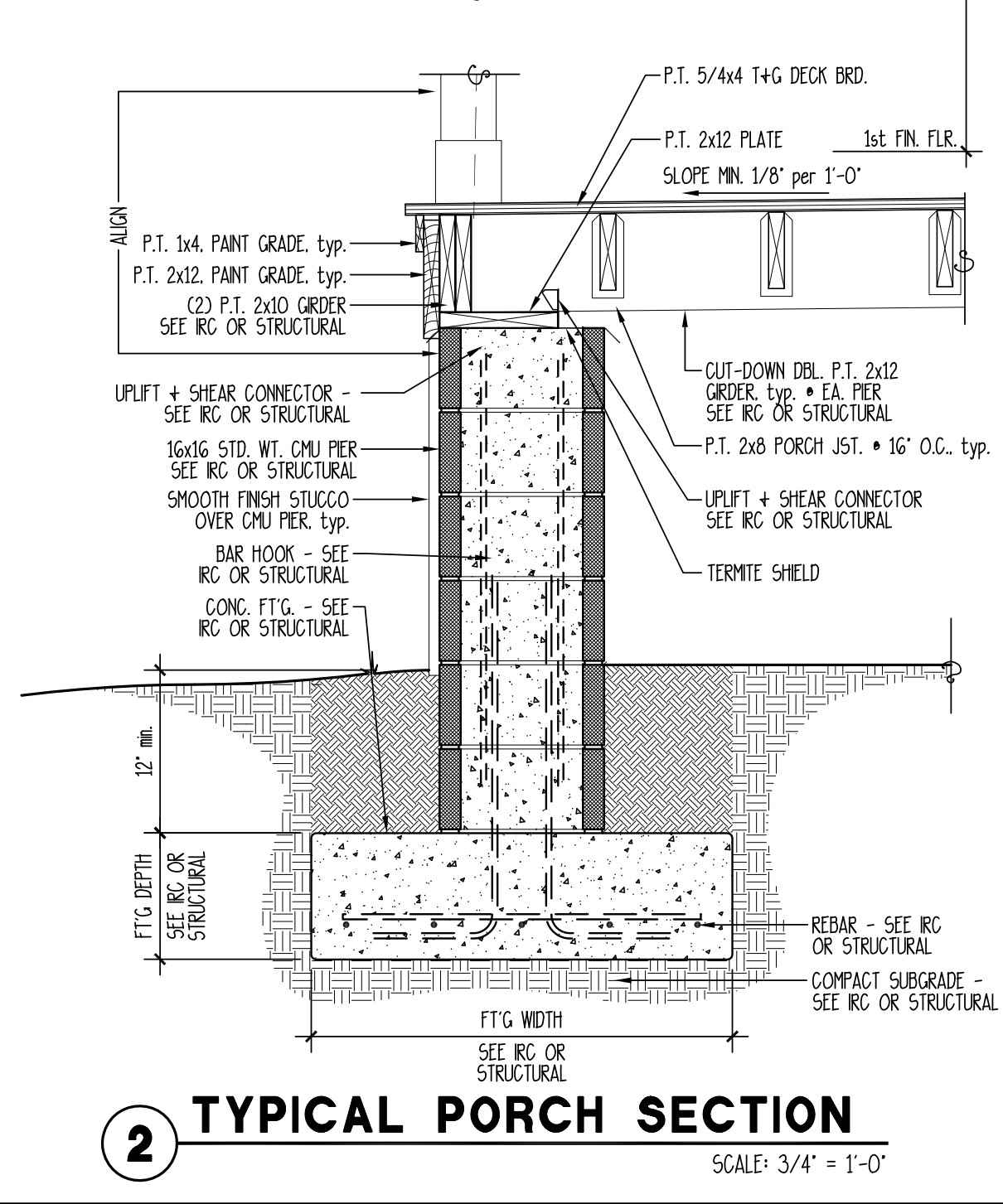
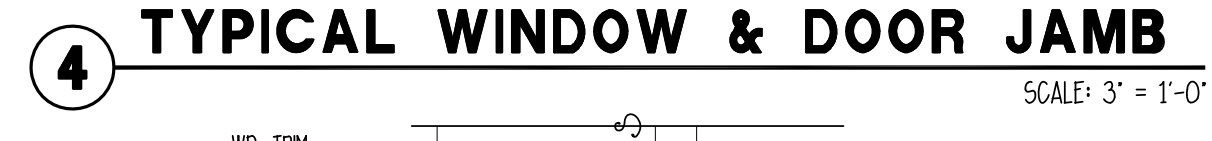
- HARRY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION
- VERIFY COMPLIANCE WITH ALL LOCAL CODES
- PLANS INDICATE LOCATIONS ON ALL LOCAL CODES
- ACTUAL SITE CONDITIONS
- HARRY ALL PLUMBING LOCATIONS ARE NOT INCLUDED THESE SHOULD BE OBTAINED FROM A LOCAL PLUMBING CONTRACTOR
- HARRY ALL ELECTRICAL LOCATIONS ARE NOT INCLUDED THESE SHOULD BE OBTAINED FROM A LOCAL ELECTRICAL CONTRACTOR
- HARRY ALL STRUCTURAL CONDITIONS WITH LOCAL PLUMBING AND/OR ELECTRICAL CONTRACTORS

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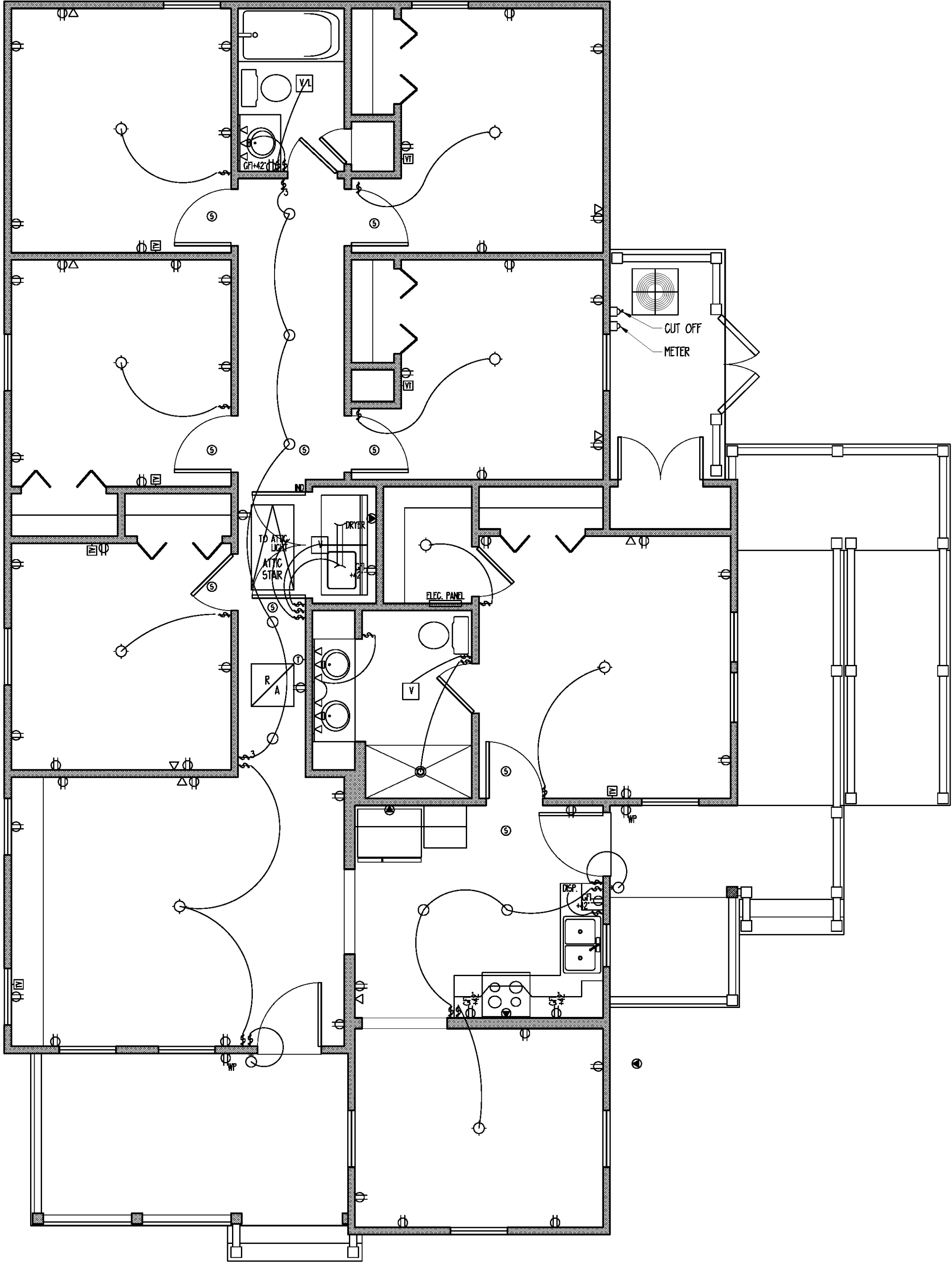
DUKE STREET
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BEAUFORT COUNTY, SOUTH CAROLINA



DUKE STREET
WRIGHT'S POINT
BEAUFORT COUNTY, SOUTH CAROLINA



	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	DUPLEX OUTLET
	WATER PROOF OUTLET
	GROUND FAULT OUTLET
	SPECIALTY OUTLET
	FLOOR OUTLET
	TELEPHONE JACK
	VENT
	VENT W/ LIGHT
	SURFACE MOUNTED FIXTURE
	RECESSED FIXTURE
	WALL MOUNTED FIXTURE
	FLOOD LIGHT
	FLOURESCENT FIXTURE
	CEILING FAN
	STRIP LIGHTING
	CEILING BOX
	DOOR CHIME
	ELECTRICAL PANEL
	SMOKE ALARM



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

THIS PLAN HAS BEEN PROVIDED AS BEST FOR PROFESSIONAL, COMMERCIAL, AND RESIDENTIAL USE. HOWEVER, BUILDING CODES AND REGULATORY CONDITIONS MAY VARY FOR DIFFERENT LOCATIONS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO VERIFY THE FOLLOWING BEFORE BEGINNING CONSTRUCTION. ALLISON RAMSEY ARCHITECTS, INC. ASSUMES NO LIABILITY FOR ANY WORK CONSTRUCTED FROM THIS PLAN.

- VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION
- VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION
- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.
- LOCAL PLUMBING, MECHANICAL, AND ELECTRICAL CODES SHOULD BE OBTAINED FROM A LOCAL PROFESSIONAL ENGINEER, ARCHITECT, OR MECHANICAL CONTRACTOR.
- VERIFY ALL STRUCTURAL ELEMENTS WITH LOCAL ENGINEER AND/OR ARCHITECT.

DATE :	11/03/17
JOB NO. :	173134
DRAWN BY :	JL
DRAWING NAME :	173134

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DUKE STREET
WRIGHT'S POINT
BEAUFORT COUNTY, SOUTH CAROLINA

CONTRACT SPECIFICATIONS

The following project specifications are intended as a minimum standard to be used in conjunction with the Contract Drawings.

Compliance with each of the following Specification sections is necessary where applicable or referenced by said drawings:

All work associated with the Contract Drawings shall be in conformance with the latest edition of the International Residential Code, (IRC) or other codes, applicable to the jurisdiction where the project shall be constructed. The Contractor shall refer to applicable sections of the IRC as referenced herein specifically Chapter 1, Administration.

-The "Green Recommendation" subheadings outline practices recommended to be followed for a greener method of construction. These recommendations are to be followed at the Builders discretion and do not imply any level of sustainability for the design. Refer to LEED for Homes Rating System (http://www.greenhomeguide.org/documents/leed_for_homes_rating_system.pdf) and ENERGY STAR Guidelines for Qualified New Homes (http://www.energystar.gov/index.cfm?c=ehdr_raters_raters_homes_guidelines) for more information. An asterisk (*) indicates this recommendation is a mandatory pre-requisite for the LEED for Homes Rating System. The @Green Recommended Manufacturers (and Products)* subheadings outline some examples of Green products and are listed according to www.buildinggreen.com, www.greenhomeguide.org, and other sources.

DIVISION I GENERAL CONDITIONS

ARCHITECTURAL DRAWINGS AND SPECIFICATIONS, ERRORS AND OMISSIONS

a. The Contractor shall notify the Architect in writing of any errors, discrepancies, or omissions in the Contract Documents.

b. The Contractor shall be held responsible for the results of any errors, discrepancies, or omissions which the Contractor failed

to notify the Architect of before construction and/or fabrication of the work.

SPECIFICATION AND DRAWINGS EXPLANATION: For convenience of reference and to facilitate the letting of contracts and subcontracts, these specifications are separated into titled sections. Such separations shall not, however, operate to make the Architect an arbiter to establish limits to contracts between the Contractor and Subcontractor.

SUBSTITUTION: The Contractor shall submit manufacturers literature and test data for the Owner's approval, for materials or equipment which the Contractor represents as "equal" to that specified and intends to incorporate into the work. Substitution of materials, systems, or manufacturers from those specified herein by the Contractor without prior written approval from the Owner or Architect is forbidden and shall be at the sole risk of the Contractor.

TRUSS DRAWINGS: A complete set of truss drawings certified in accordance with local authority shall be delivered to the architect.

Refer to the Engineer's calculations for any questions regarding lumber grades, beam and header sizes, footing and shear requirements.

NO deviations from the structural details shall be made without the written approval of the Structural Engineer.

Approval by city/county inspector does not constitute authority to deviate from the plans or specifications.

Subcontractor shall notify Contractor, and Contractor shall notify Architect of any errors, omissions, or discrepancies in the plans and/or specifications, so Architect can rectify corrections or omissions prior to commencement of construction. The Contractor and Subcontractor shall verify all dimensions and job conditions at the job site prior to commencing work. All work shall be done in compliance with local codes or IRC.

DO NOT SCALE DRAWINGS.

All workmanship shall be of the highest quality and is subject to inspections by the building department, local authorities, lending institutions, Architect or Owner.

Any one, or all of the above mentioned inspectors may inspect workmanship at any time. Any work identified as non-compliant with construction documents shall be removed and reworked, repaired, or replaced, at the discretion of the Owner or Owners Agent.

The Jobsite shall be maintained in a clean and organized manner. All Tradesman involved in the work shall be responsible for daily housekeeping and removing from the job site all trash and debris. The jobsite shall be completely clean and organized at the end of each weeks work.

It is the responsibility of each subcontractor to cooperate fully with the Job Superintendents in protecting all work through the entire course of construction. Each subcontractor shall be responsible for promptly notifying Job Superintendent of any damage existing prior to the start of their work.

ALLOWANCES

Definitions and Explanations: Allowances for certain categories of work specified herein are provided for the purpose of enabling and expediting contract pricing. A final Schedule of Allowance for materials, labor, equipment, and finishes customarily selected by the owner shall be submitted for verification and acceptance by the owner prior to commencement of the contract work.

Adjustments to the contract (up or down) due to owners selections will be issued by change order.

Allowances include but are not limited to lump sum allowances and unit cost allowances.

Selection and Purchase: At earliest feasible date after award of contract, advise Owner at schedule date when final selection and purchase of each product or system described by each allowance must be accomplished in order to avoid delays in performance of the work.

The Contractor shall obtain and submit cost proposals for work represented by each allowance for use in making final selections.

Purchase products and systems as specifically selected (in writing) by the Owner.

Unit-cost allowances: Submit a substantiated survey of quantities of materials, as shown in the "Schedule of Values," revised where necessary, and corresponding with change order quantities.

Each change order amount for unit-cost type allowances shall be based solely on the difference between the actual unit purchase amount and the unit allowance, multiplied by the final measure or count of work-in-place, with customary allowances, where applicable, for cutting wastes, tolerances, mixing wastes, normal product imperfections and similar margins.

The Owner reserves the right to establish the actual quantity of work-in-place by an independent quantity survey, measure or count.

Schedule of Allowances		
Description	Remarks	Allowance
Appliances Range	Allowance includes Conds. Cut-off valves and fittings required	\$
Cook-top	for complete installation. Rough-in Labor + Installation costs	\$
Oven	included in Contractor's Base Bid.	\$
Microwave	"	\$
Refrigerator	"	\$
Dishwasher	"	\$
Washer	"	\$
Dryer	"	\$
Water Heater	"	\$
Other	"	\$
Appliance Total Allowance	"	\$
Cabinets Kitchen	Allowance includes the cost of installation labor for	\$
Counter Tops	Cabinets + Counter Tops, Cabinet Hardware, Pkls. + Nails.	\$
Bath	"	\$
Counter Tops	"	\$
Bath	"	\$
Counter Tops	"	\$
Cabinet Total Allowance	"	\$
Flooring Carpet	Allowance includes the cost of materials and labor installed.	\$
Vinyl	"	\$
Wood	"	\$
Ceramic Tile	"	\$
Flooring Total Allowance	"	\$
Hardware Door Hardware	Allowance includes the cost of material only. Costs of	\$
Bath Accessories	Installation Labor included in Contractor's Base Bid.	\$
Exterior Doors	Allowance includes the cost of material only. Costs of	\$
Interior Doors	Installation Labor included in Contractor's Base Bid.	\$
Windows	"	\$
Light Fixtures	Allowance includes the cost of material only. Costs of	\$
Finishing Fixtures	Installation Labor included in Contractor's Base Bid.	\$
Landscape	Lump Sum Labor + Material	\$

CONSTRUCTION PRACTICES

-Green Recommendation:
*Investigate and document options for the project's diversion of waste, including construction waste as well as cardboard packaging and household recyclables.
*Document the diversion rate of the construction waste and record the waste of the land clearing separate from the new construction.
Reduce construction waste and/or increase waste diversion to be below the industry norm: generate 25 lbs or less of net waste per square foot of conditioned floor area, increase waste diversion by diverting 25% or more of the total materials taken off the construction site from landfills and incinerators.

HOMEOWNER EDUCATION

-Green Recommendation:
*Provide the home occupants with proper training about the operations and maintenance of the home's "green" features and equipment. Provide a 1-hour walkthrough with homeowner and an OAH (Operations and Manual) to the homeowner including all documents and instructions related to the @Green® equipment and systems.

DIVISION 3 CONCRETE

-Green Recommendation:
Recyclability: Concrete to have maximum recycled content allowed per structural specifications.
Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).
Reduce emissions: Use 30% fly ash or slag as allowed per structural specifications.

Concrete intended for structural foundations shall comply w/ Sec. R402.2 and other applicable provisions of the IRC, Codes and Standards: ACI 301 "Specifications for Structural Concrete Buildings," ACI 308, "Building Code Requirements for Reinforced Concrete." Comply with applicable provisions for highest quality except as otherwise indicated.

All load bearing footings shall be placed on level, undisturbed soil to depth shown on drawings and in no case, less than the frost depth. Prior to placing footings or slabs, the Contractor shall insure that all forms and trenches are free of debris and all embedded items are in place, securely attached. This includes the work of others. Maintain 6" minimum clearance between all wood and finish grade.

Materials:

Cement shall conform to ASTM C-150.

Ready mixed concrete shall be mixed and delivered in accordance to ASTM C-94, 3000 PSI.

Aggregates shall conform to ASTM C-33 for normal-weight concrete and ASTM C-33 for lightweight concrete.

Waterstops: Flat dumbbell or centerbulb type, size to suit joints of either rubber (CRD C-515) or PVC (CRD C 512).

Moisture Barrier: Clear 6-mils thick polyethylene or 1/8" thick asphaltic core polyethylene-coated paper membrane sheet of the largest size practical in order to minimize joints.

Membrane-forming Curing Compound: ASTM C309, Type I.

Reinforcing Bars: ASTM A 615, grade 60.

Welded Wire Fabric: comply with ASTM A 185.

Concrete Placement: Comply with ACI, placing concrete in a continuous operation within planned joints or sections. Protect concrete from physical damage or reduced strength due to weather extremes during mixing, placement and curing. In cold weather comply with ACI 306, in hot weather comply with ACI 305.

FLATNESS: Concrete floor slab flatness shall not deviate from level to 1/8" in 10 feet, maximum. Provide a smooth trowel finish for concrete floor and wall surfaces that are to be covered with a coating or covering material applied directly to concrete. Remove fins and projections, patch or remove defective areas as directed by the Owner or Architect.

Apply trowel finish to monolithic slab surfaces that are exposed to view or are to be covered with resilient flooring, paint, or other thin coating. Consolidate concrete surfaces by finish troweling, free of brovel marks, uniform in texture and appearance.

Curing: Begin initial curing as soon as free water has disappeared from exposed surface. Where possible, keep continuously moist for not less than 72 hours.

Joints: Provide construction, isolation and control joints as indicated or required to minimize differential settlement and random cracking. Saw-cut control joints as soon as concrete has hardened sufficiently to support cutting operation and no later than 8-12 hours after placement.

SECTION 05 45 00 - PRECAST CONCRETE - CAST STONE

-Green Recommendation:
Recyclability: Concrete to have maximum recycled content allowed per structural specifications.
Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).
Reduce emissions: Use 30% fly ash or slag as allowed per structural specifications.

Specifications: Comply with recommended practices and procedures of Prestressed Concrete Institute (PCI) MNL - 116 and MNL - 117, and as herein specified.

Submit samples approximately 12" x 12" x 2" to illustrate quality, texture, and color of other than as-cast surface finishes.

Concrete Materials:

Portland Cement: ASTM C 150, Type as required.

Aggregates: ASTM C 33.

Air-Entraining Admixture: ASTM C 260.

Water-Reducing Admixture ASTM C 494.

Compressive strength not less than 5000 psi at 28 days. Total air content not less than 4% or more than 6%.

Fabrication: Fabricate precast concrete units complying with PCI MNL-116 for structural units and MNL-117 for architectural finished exposed units, including dimensional tolerances.

Manufacturers:

-Green Recommended Manufacturers and Products:
Perform All, LLC, Perform Mail Panel System

DIVISION 4 MASONRY

-Green Recommendation:
Recyclability: Use recycled bricks when possible.
Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).

General: Assemblies of masonry units shall comply w/ the provisions provided in Chapter's 4, 6 and 10 of the IRC.

Standards: Comply with the recommendation of Brick Institutes or America (BIA) and National Concrete Masonry Association (NCMA).

Provide solid, uncured or unfroffoged units with all exposed surfaces finished for sills, breads, caps, and similar applications exposing surfaces otherwise concealed from view.

Facing bricks: ASTM C 216, Grade SK, to match owner's sample.

Concrete Masonry Units (CMU): provide units of the dimensions indicated on drawings conforming to ASTM 90.

Roughen and clean concrete bearing surfaces for the placement of the first course.

Comensititious Material: Premixed Type M colored mortar of formulation required to produce color indicated.

Ties and Anchoring Devices: Hot-dip galvanized steel sheet. Carbon steel hot-dip galvanized after fabrication to comply with ASTM A 153, Class B.

Joint Reinforcement: Galvanized brass type welded-wire units prefabricated with 0.1875" diameter deformed continuous side rods and plain cross rods into straight lengths not less than 10" and of widths to fit wall thickness indicated, with prefabricated corner and tee units.

Masonry Veneer Anchors: Two piece assemblies consisting of 0.1875" diameter wire tie section and 0.1046" thick steel anchor section with latter incorporating strap as manufactured by Dur-O-Wall, Inc. (or equal).

Masonry Wire Ties 3/16" cold-drawn steel wire, with 15 oz. hot-dip zinc coating.

Asphalt-Coated Copper Flashing: 5 oz. sheet copper, coated with flexible fluorated asphalt.

Weepholes: Cotton sash of length required to produce 2" exposure on exterior and 18" in cavity between wythes.

Extruded Polystyrene Board Insulation: ASTM C 578, Type IV, with closed cells and integral high density skin, formed by expansion of polystyrene base resin in a extrusion process.

Workmanship: Install masonry units in the bond pattern indicated, or if none is indicated, in running bond. Avoid the use (by proper layout) of less-than-half-size units. Hold uniform joint sizes as indicated, or if not indicated, hold joint sizes to suit modular of masonry units.

C/S Joints flush and tool slightly concave, unless otherwise indicated.

Keep cavities clean of mortar droppings, and install ties spaced 16" vertically and 24" horizontally. Provide weep holes spaced 24" apart at the bottom of (and at ledges in) cavities.

Install board insulation of thickness indicated in cavity wall with boards pressed firmly and adhesively applied against inside wythes of masonry. Fit board between wall ties and with edges butted tightly.

Reinforce horizontal joints with continuous masonry joint reinforcement, spaced 16" vertically. Install reinforcement 8" immediately above and below opening for a distance of 2' beyond joints of opening. Do not bridge control and expansion joints in the wall system.

Provide control and expansion joints at locations shown or as approved by the Architect.

Protect adjacent work and keep clean of mortar, debris, and other damaging conditions. Install approved flashing under copings, sills, through wall at counter flashing locations, and above elements of structural support for masonry.

Protect newly laid masonry from exposure to precipitation, excessive drying, freezing, soiling backfill and other harmful elements.

Cleaning: Dry-brush masonry work at end of each day's work. After mortar is thoroughly set and cured, clean masonry by bucket and brush hand cleaning method described in BIA "Technical Note No. 20 Revised" using detergent cleaner.

Manufacturers:

-Green Recommended Manufacturers and Products:
Apex Block, Apex Block
Trenthigh Industries, Verastone Premium Recycled Grand Face CMU

SECTION 04 42 00 - EXTERIOR STONE CLADDING

-Green Recommendation:
Recyclability: Use reclaimed stone.
Local Materials: Use local products when possible (extracted, processed and manufactured within 500 miles of the project).

Standards: Comply with industry recommendation of stone production and fabrication standards for the type of stone selected. Provide sample panels of erected stonework, built at site, using proposed stone, anchors, and jointing, one panel for each type of stone and installation. Obtain stone from one quarry with consistent color range and texture. Stone type and color to match Owner's sample.

Mortar: Type M, ASTM C 210, Proportion Specification. For colored pointing mortar, use ground marble, granite or other sound stone to match Owner's sample.

Anchors: For anchoring into concrete, cadmium-plated or hot-dip galvanized, for anchoring into stone, Type 302/304 stainless steel.

Type, size, and load capacity as shown or required.

Asphalt-Coated Copper Flashing: 5 oz. sheet copper, coated with flexible fluorated asphalt.

Clean stone

work not less than 6 days after placement with clean water and stiff-bristle brushes.

DIVISION 5 METALS

-Green Recommendation:
Environmentally Preferable Products:
Use local products when possible (extracted, processed and manufactured within 500 miles of project).
Use products with low emissions.
Use recycled or reclaimed products.

SECTION 05 40 00

Material Standards: Provide and install structural steel in accordance w/ AISI "Code of Standard Practice for Steel Buildings and Bridges"; AISI "Specifications for the Design, Fabrication, and Erections of Structural Steel for Buildings" including "Commentary"; AISI "Structural Welding Code"; and provisions of Chapter 3 of the IRC.

Structural steel and misc. iron shall conform to ASTM A-36.

Bolts, nuts and screws shall conform to ASTM A307 Grade A. Welding rods shall conform to AWS for intended use.

Welding or heat bending of reinf. steel shall not be allowed without written consent of Architect, conform to AWS D12-I.

Fabrication: Comply with AISI "Specifications" and with AWS Code for procedures, appearance, and quality of welds.

Steel plates shall conform to ASTM A-282 Grade A. Steel tubing shall conform to ASTM A-501.

Reinforcing steel shall conform to ASTM A-615, Grade 40 for sizes up to #3. Grade 60 for sizes #4 or larger.

Welded fabric (WVF) shall conform to ASTM A-185, latest revision. Smooth wire fabric shall conform to ASTM A-85, yield strength 60 ksi.

All bars in masonry shall be lapped with a minimum of 40 bar diameters at all splices unless noted otherwise.

All bars in concrete shall be lapped a minimum of 36 bar diameters at all splices unless noted otherwise with a larger dimension.

Splices of horizontal rebar in walls and footings shall be staggered 4'-0" unless noted otherwise.

Dowels for walls and columns shall be the same size and spacing as the wall/column reinforcing unless noted otherwise.

SECTION 05 73 00 - DECORATIVE METAL RAILINGS

General: Provide and install handrails, railings, and guards as shown on drawings and in accordance w/ Sec. R311 and Sec. R312 of the IRC.

Porches, balconies or raised floor surfaces located more than 30 inches above the floor or grade below shall have guards not less than 36 inches in height.

Handrails shall be provided on at least on side of each continuous run of treads or flight w/ four or more risers.

Structural Performance of Handrails and Railing Systems: Provide handrails and railing systems capable of withstanding a concentrated load of 200 lbs applied at any point and a uniform load of 50 lbs per lin. ft.

Infill Area of Guardrail Systems: Horizontal concentrated load of 200 lbs applied to one sq. ft. at any point in the system including panels, intermediate rails balusters, and other elements composing the Infill area.

DIVISION 6 WOOD, PLASTICS, AND COMPOSITES

-Green Recommendation:
Material Efficient Framing:
*Limit the overall estimated waste factor to 10% or less. Waste factor is the percentage of framing materials ordered in excess of the estimated material needed for construction.
Use any of the following framing measures to reduce waste: pre-cut framing packages, open-web floor trusses, structural insulated panels (Sip) walls, SIP roof, SIP floor, stud, joist and rafter spacing greater than 16" o.c. where possible and allowed by the IRC, size headers for actual loads, use ladder blocking or drywall clips, use 2-stud corners).
Environmentally Preferable Products:
*Limit use of tropical wood but use only FSC-certified wood with proper documentation.
Use local products when possible (extracted, processed and manufactured within 500 miles of project).
Use products with low emissions.
Use recycled or reclaimed products.

SECTION 06 10 00- ROUGH CARPENTRY

General: Buildings and structures constructed in flood hazard areas as established in Table R301.2.(1) shall be designed and constructed in accordance w/ the provisions contained in Sec. R323 of the IRC.

Materials: Building materials used below the design flood elevation shall comply w/ Sec. R323.11 of the IRC.

Load-bearing dimension lumber for joists, beams, studs, and girders shall be identified by a grade mark in accordance w/ Sec. R502 of the IRC.

Provide seasoned lumber with 14 percent moisture content at time of dressing and shipment for sizes 2" or less in thickness.

For exposed lumber, apply grade stamps to ends of back of each piece or omit grade stamps entirely and issue certificate of grade compliance.

Dimension lumber: Provided lumber of the following product classification in grade and species indicated:

Light-framing: (2'-4" thick, 2'-4" wide). Construction grade. Southern Pine graded under SPIB rules.

Studs (2'-4" thick, 2'-6" wide, 10' and shorter), "Stud" or No. 3 Structural Light Framing grade, any species graded under NWFA, NCLIB, SPIB or NLGA rules.

Structural Light Framing: 2'-4" thick, 2'-4" wide). No. 1 Southern Pine graded under SPIB rules.

Structural Joists and Flanks (2'-4" thick, 3" and wider): Any species and grade complying with requirements for allowable unit stresses.

Fb (minimum extreme fiber stress bending): 1250 psi.

E (minimum modulus of elasticity): 1,600,000 psi.

Fv (horizontal shear): 100 psi.

Exposed Framing Lumber: Verify that material intended for use in exposed finish locations meets species and grade requirements for compliance with "Appearance" grade requirements of ALSC National Grading Rule.

Posts, Beams and Timbers (3" and thicker): No. 1 grade Hem-Fir rules or No. 2 grade Southern Pine graded under SPIB rules.

Glued laminated timber (Glulam): Comply with ANSI/ATG A 190 "Structural Glued Laminated Timber"

Combination Sub Floor Underlayment: 3/4" APA RATED STURD-I-FLOOR, T&G if not otherwise indicated.

Subflooring: 3/4" T&G, APA RATED SHEATHING.

Nail Sheathing: 1/2" APA RATED SHEATHING.

Roof Sheathing: 1/2" APA RATED SHEATHING.

Flywood Underlayment for Resilient tile: 5/8" APA UNDERLAYMENT EXT with fully sanded face.

Construction Panel Underlayment for Ceramic Tile: 3/4" APA RATED STURD-I-FLOOR EXP 1 for underlayment.

Fasteners and Anchors: Provide metal hangers and framing anchors of size and type recommended for intended use by manufacturer.

Hot-dip galvanized fasteners and anchorages for work exposed to weather, in ground contact and high relative humidity to comply with ASTM A 153.

Building paper: 15 lb/sf asphalt saturated felt, ASTM D 226.

Sill Sealer Gasket: Glass fiber resilient insulation fabricated in strip form for use as a sill sealer, 1" nominal thickness compressible to 1/32", in rolls of 50' or 100' in length.

Preservative: pressure treat lumber and plywood with water-borne preservatives to comply with ANFA C2 and C9, respectively and with requirements indicated below:

Wood for Ground Contact Use: ANFSP LP-22.

Wood for Above-Ground Use: ANFSP LP-2.

Treat coats, nailers, blocking, stripping and similar items in conjunction with roofing, flashing, vapor barriers, and water proofing.

Treat sills, sleepers, blocking, hurring, stripping and similar items in direct contact with masonry or concrete.

Install rough carpentry work to comply with "Manual of House Framing" by National Forest Products Assoc. (NFPA) and with recommendations of American Plywood Association (APA), unless otherwise indicated.

For sheathing, underlayment and other products not covered in above standards, comply with recommendations of manufacturer of product involved for use intended. Set carpentry work to required levels and lines, with members plumb and true and cut to fit.

Provide wood framing members of size and spacing indicated. Do not splice structural members between supports.

Firestop concealed spaces with wood blocking not less than 2" thick (nom.), if not blocked by other framing members.

Fasten structural wood panel products as follows:

Combination Subflooring underlayment and subflooring:

Glue-nail to framing.

Sheathing, Nail to framing.

Underlayment, Glue and nail to framing.

Air Filtration Barrier: Cover wall sheathing with vapor permeable, water-resistant fabric composed of polyethylene fibers, 61 mils thick. (Tyvek or equal) in compliance with manufacturer's printed directions.

SECTION 06 11 00 - SHOP-FABRICATED STRUCTURAL WOOD

Truss design drawings: Truss design drawings, prepared in conformance w/ Sec. R802.10 of the IRC, shall be provided to the building official and approved prior to installation. Truss design drawings shall include the information specified in Sec. R802.10.1 of the IRC.

Bracing: Trusses shall be braced to prevent rotation and provide lateral stability in accordance w/ the requirements specified in the truss design drawings.

Alterations to truss: Truss members shall not be cut, notched, drilled, spliced or otherwise altered in any way without the approval of a registered design professional.

Standards: Comply with NFPA National Design Specification and with TPI standards including "Quality Standard for Metal Plate Connected Wood Trusses", Commentary and Recommendations for Handling and Erecting Wood Trusses", Commentary and Recommendations for Bracing Wood Trusses" and the following:

"Design Specification for Metal Plate Connected Wood Trusses."

"Design Specification for Metal Plate Connected Parallel Chord Wood Trusses."

Provide design of total truss system by a structural engineer licensed to practice in jurisdiction where trusses will be installed.

Steel roof truss: The design, quality assurance, installation, and testing of cold-formed steel trusses shall be in accordance w/ Sec. R804 of the IRC and the AISI Standard for Cold-formed Steel Framing-Truss Design (COP5/Truss).

SECTION 06 40 00 - EXTERIOR ARCHITECTURAL WOODWORK

Quality Standards: Comply with applicable requirements of "Architectural Woodwork Quality Standards" by AWI.

Softwood Lumber: Comply with PS 20 and applicable grading rules or respective grading and inspecting agency for species and product indicated. Fabricate to sizes and patterns indicated using seasoned lumber. Use pieces made from solid lumber for transparent finished work, and glued up or solid at Contractor's option for painted work.

Exterior Standing and Running Trim: Boards and worked lumber products complying with requirements indicated below including those of grading agency listed with species.

Species: Western Red Cedar: NWFA or NCLIB.

Grade: B & Btr - 1 & 2 Clear.

Texture: Surfaced (Smooth).

Exterior Door Frames: Grade - Premium.

Siding Board Type: Lumber milled to pattern and size indicated, complying with requirements indicated below including those of grading agency used with species:

Species: Western Red Cedar: NWFA or NCLIB.

Grade: A Grade VG.

Texture: Surfaced.

Exterior Miscellaneous Ornamental Items: Grade - Premium.

Install finish carpentry work plumb, level, true and straight with no distortions, Shim as required using concealed shims.

Scribe and cut finish carpentry items to fit adjoining work. Anchor finish carpentry work securely to supports and substrates using concealed fasteners and blind nailing where possible. Use fine finish nails for exposed nailing except as indicated, countersunk and filled flush with finish surface.

Standing and Running Trim: Install with minimum number of joints possible, using full-length pieces from maximum length of lumber available. Cape at returns, miter at corners to produce tight fitting joints. Use scarf joints for end-to-end joints.

Beveled Siding: Attach to studs with non-corrosive siding nails of length to penetrate studs at minimum of 1-1/2" and to comply with siding manufacturer's recommendations.

Manufacturers:

-Green Recommended Manufacturers and Products: (per BuildingGreen.com)
Armetex Reclaimed Lumber Co., Reclaimed-Wood Lumber and Products
Industries Mabco, Inc., Certified FR Shingles

SECTION 06 40 23 - INTERIOR ARCHITECTURAL WOODWORK

AWI Quality Standard: Comply with applicable requirements of "Architectural Woodwork Quality Standard" by American Woodworkers Institute.

Samples: Submit finished samples of each wood species and profile indicated, for transparent finish, of each material indicated for opaque finish of each color, pattern, and type of plastic laminate and each type of cabinet hardware.

Species for Transparent Finish: Rift-sawn red oak.

Species for Opaque Finish: Any closed-grain hardwood listed in reference wood working Standard.

Hardwood Plywood: HFMA FE.

Plastic Laminate: High-pressure decorative laminate complying with NEMA LD 3.

Interior Standing and Running Trim: Grade - Premium.

CABINETS AND COUNTER TOPS:

Allowances: See Division I for amount and procedures for purchase and payment (overrun or underrun). The costs of handling and installation are covered by the allowance.

Grain Matching: Run and match grain vertically for drawer fronts, doors, and fixed panels.

Comply with veneer and other matching requirements indicated for Blueprint matched paneling.

Laminate Glad Cabinets: Grade - Custom Flush overlay, High-pressure decorative laminate selected from laminate manufacturer's full range of standard colors, patterns, and finishes.

Concealed Cabinet Hardware: Provide cabinet hardware and accessory materials associated with architectural cabinets.

Comply with ANSI/BHMA A 156.9 "American National Standard for Cabinet Hardware."

Exposed Cabinet Hardware: See Section 01020 Allowances for exposed hardware.

Shop-apply prime/base coat to interior trim for opaque finish, in compliance with requirements indicated in section 09 painting. Transparent Finish for Open-Grain Woods: Provide the following shop applied finish in compliance with AWI "Architectural Woodwork Quality Standards."

Grade: Premium, AWI Finish System #3, Conversion varnish.

Staining: Match Owner's Sample

Install woodwork to comply with AWI Section 1100 for same grade specified in Part 2 of this section for type of woodwork involved.

Paneling: Anchor paneling to supporting substrate with concealed panel hanger clips. Blind nail back-up strips and similar associated trim and framing.

Manufacturers:

-Green Recommended Manufacturers: (per BuildingGreen.com)
Hundbult Healthy Building Solutions, Wheatcore Doors and Cabinets

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THE PLAN IS NOT INTENDED TO BE USED FOR PROFESSIONAL ENGINEERING OR ARCHITECTURAL PURPOSES. IT IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT TO PROVIDE THE NECESSARY INFORMATION AND TO OBTAIN THE NECESSARY PERMITS AND APPROVALS. IT IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT TO PROVIDE THE NECESSARY INFORMATION AND TO OBTAIN THE NECESSARY PERMITS AND APPROVALS. IT IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT TO PROVIDE THE NECESSARY INFORMATION AND TO OBTAIN THE NECESSARY PERMITS AND APPROVALS.

DATE : 10/15/12

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SPECIFICATIONS

ARA
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SP1



FACILITY PROJECT UPDATE:

Expansion of the Beaufort County Elections and Voter Registration Building



David L Thomas, Purchasing Director
dthomas@bcgov.net 843.255.2353

**COUNTY COUNCIL OF BEAUFORT COUNTY
PURCHASING DEPARTMENT**

106 Industrial Village Road, Bldg. 2, Post Office Drawer 1228
Beaufort, South Carolina 29901-1228

INFORMATIONAL ONLY - AWARD APPROVED IN 2017

TO: Councilman Stu Rodman, Chairman, Public Facilities Committee

FROM: David L Thomas. CPPO. Purchasing Director

SUBJ: New Contract as a Result of Solicitation

Recommendation for Contract Award for IFB 092217, Voters Registration Warehouse

DATE: 12/07/2017

BACKGROUND:

Beaufort County issued an Invitation for Bid (IFB) to solicit proposals from qualified firms to provide construction services for the addition of a 2,319 SF warehouse for the County's Voters Registration Department's use. A non-mandatory pre-bid meeting was held on August 24, 2017, at 3:00 pm in the Finance Conference Room and six (6) construction firms attended the meeting. Two bids were received and opened on September 22, 2017. The County received bids from the firms listed below.

County staff evaluated the bids, along with our architect R. W Chambers, and determined that Patterson Construction was the lowest responsive and responsible bidder.

The site location is 15 John Galt Road, Beaufort Industrial Village, Beaufort, SC.

VENDOR INFORMATION:

1. Patterson Construction, Beaufort, SC

COST:

\$210,834*

2. Paul S. Atkins Company, Statesboro, GA

\$259,025

FUNDING:

*Staff is requesting a 10% Contingencies of \$21,083.34 to cover any unforeseen conditions. The grand total for the project including the 10% contingency is \$231,917.34.

2017 General Obligation Bond, account# 40100011-54420, Renovation Existing Building Voter Registration, Balance \$250,000.

Funding approved: By: Date:

FOR ACTION: Public Facilities Committee on December 11, 2017.

RECOMMENDATION:

The Purchasing Department recommends that the Public Facilities Committee approve and recommend to County Council the contract award to Patterson Construction in the amount of \$210,834 and include a 10% contingency of \$21,083.34 for a total contract cost of \$231,917.34 for the new Voter Registration Warehouse from the funding sources listed above.

Attachment:

 IFB 092217 Recommendation Ltr Attachment 12112017.pdf
1.55 MB

cc: Joshua Gruber, Interim County Administrator

Approved: Date:

Check to override approval: ☐ Overridden by:

Override Date:

Alicia Holland, Assistant County Administrator, Finance

Approved: Date:

Approved: Date:

Check to override approval: ☐ Overridden by:

Override Date: ready for admin: ☒

Approved: Date:

Check to override approval: ☐ Overridden by:

Override Date: ready for admin: ☒

After Initial Submission, Use the Save and Close Buttons

PRELIMINARY BID TABULATION

PURCHASING DEPARTMENT



Project Name:	Voter's Registration Warehouse
Project Number:	IFB 092217
Project Budget:	
Bid Opening Date:	9/22/2017
Time:	3:00
Location:	Finance Conference Room
Bid Administrator:	Marlene Myers
Bid Recorder:	Marlene Myers

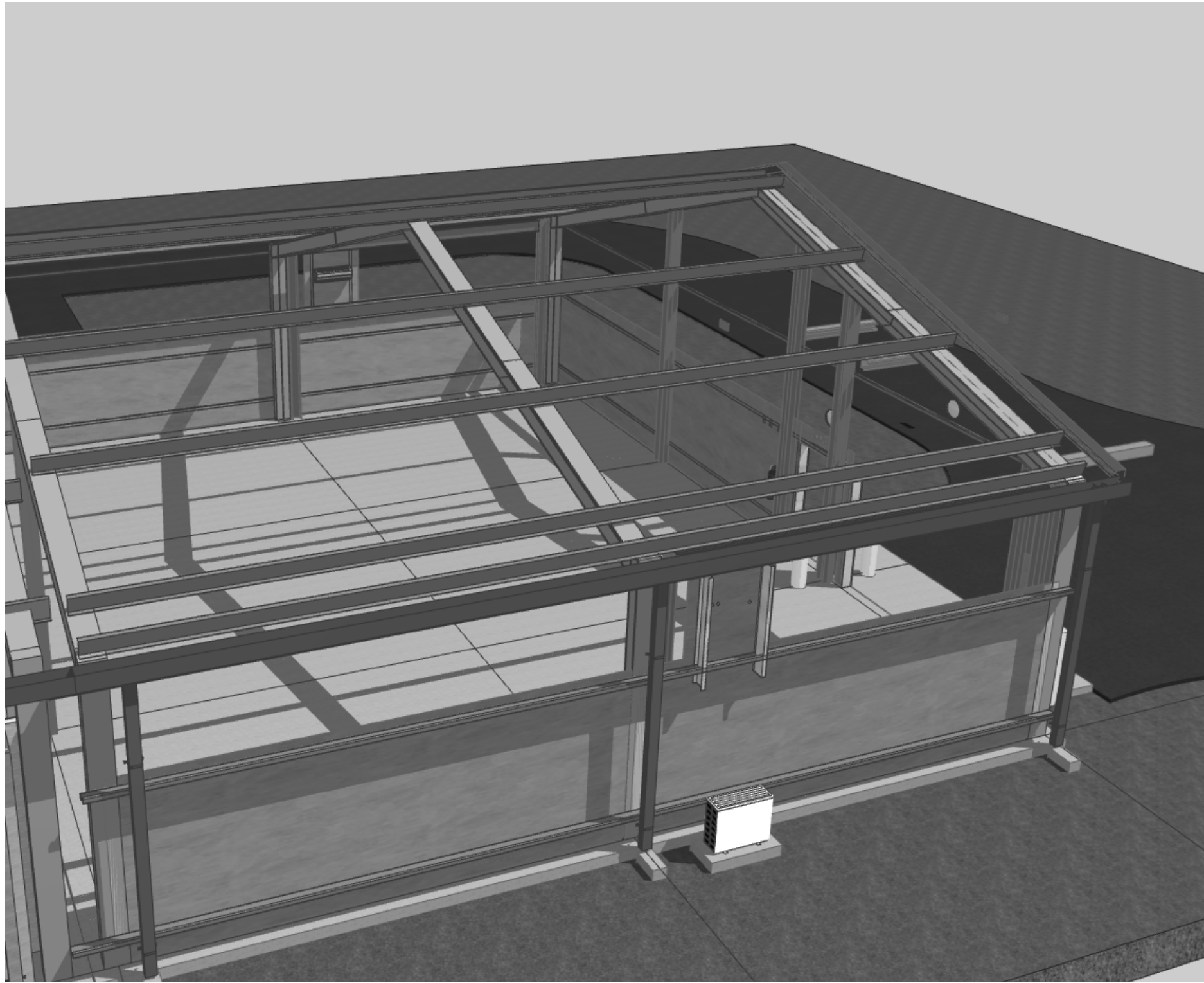
The following bids were received for the above referenced project:

BIDDER	BID FORM	BID BOND	ALL ADDENDA	SCH OF VALUES	SUB LISTING	SMBE DOCS	Grand Total Price
Paul S. Atkins Company, Inc.		X					\$579,575
Patterson Construction, Inc.		X					\$410,208
Beaufort County posts PRELIMINARY bid tabulation information within 2 business days of the advertised bid opening. Information on the PRELIMINARY bid tabulation is posted as it was read during the bid opening. Beaufort County makes no guarantees as to the accuracy of any information on the PRELIMINARY tabulation. The bid results indicated here do not necessarily represent the final compliance review by Beaufort County and are subject to change. After the review, the final award will be made by Beaufort County Council and a certified bid tab will be posted online.							

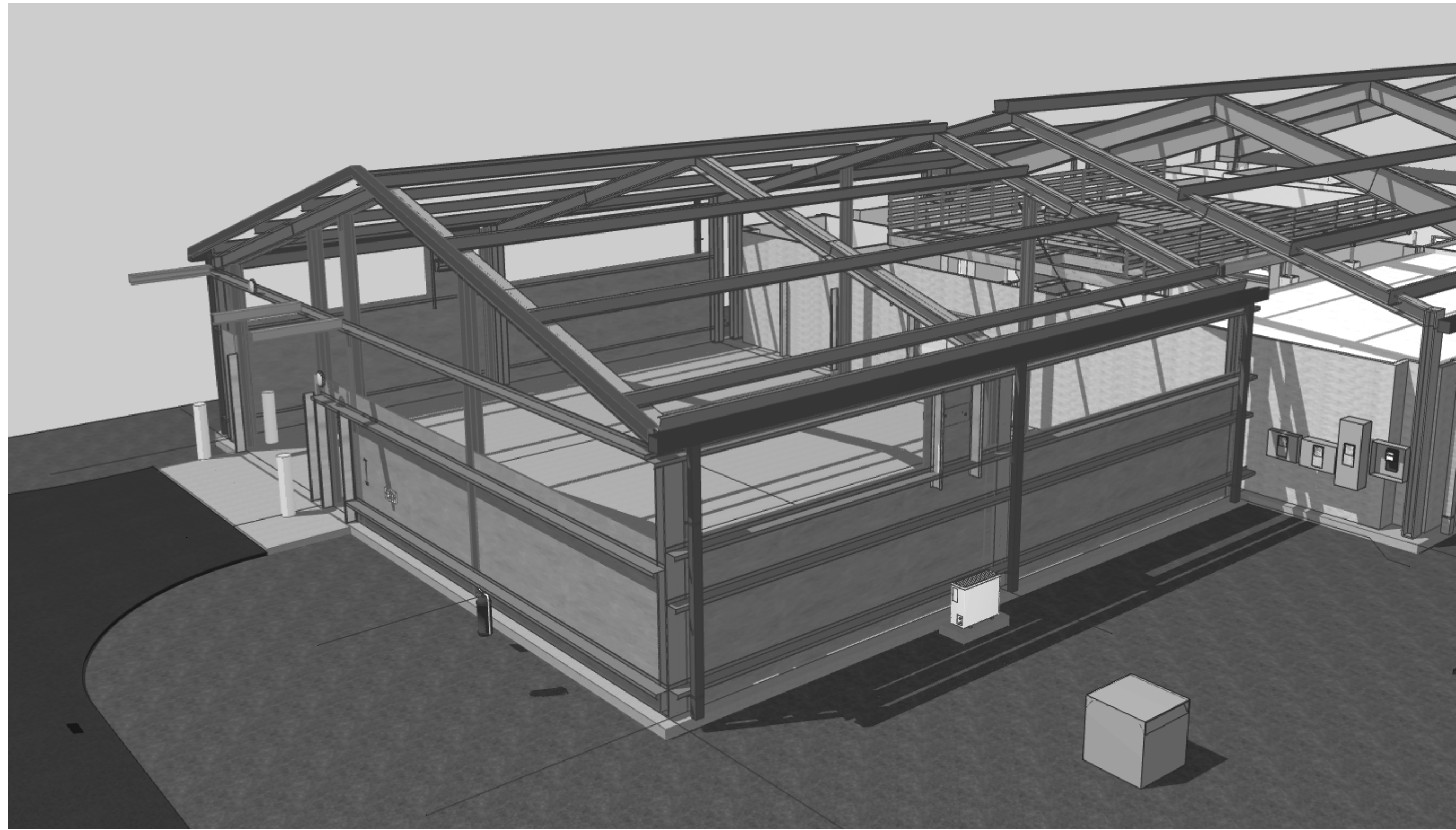
Bid Administrator Signature

Bid Recorder

12/7/2017



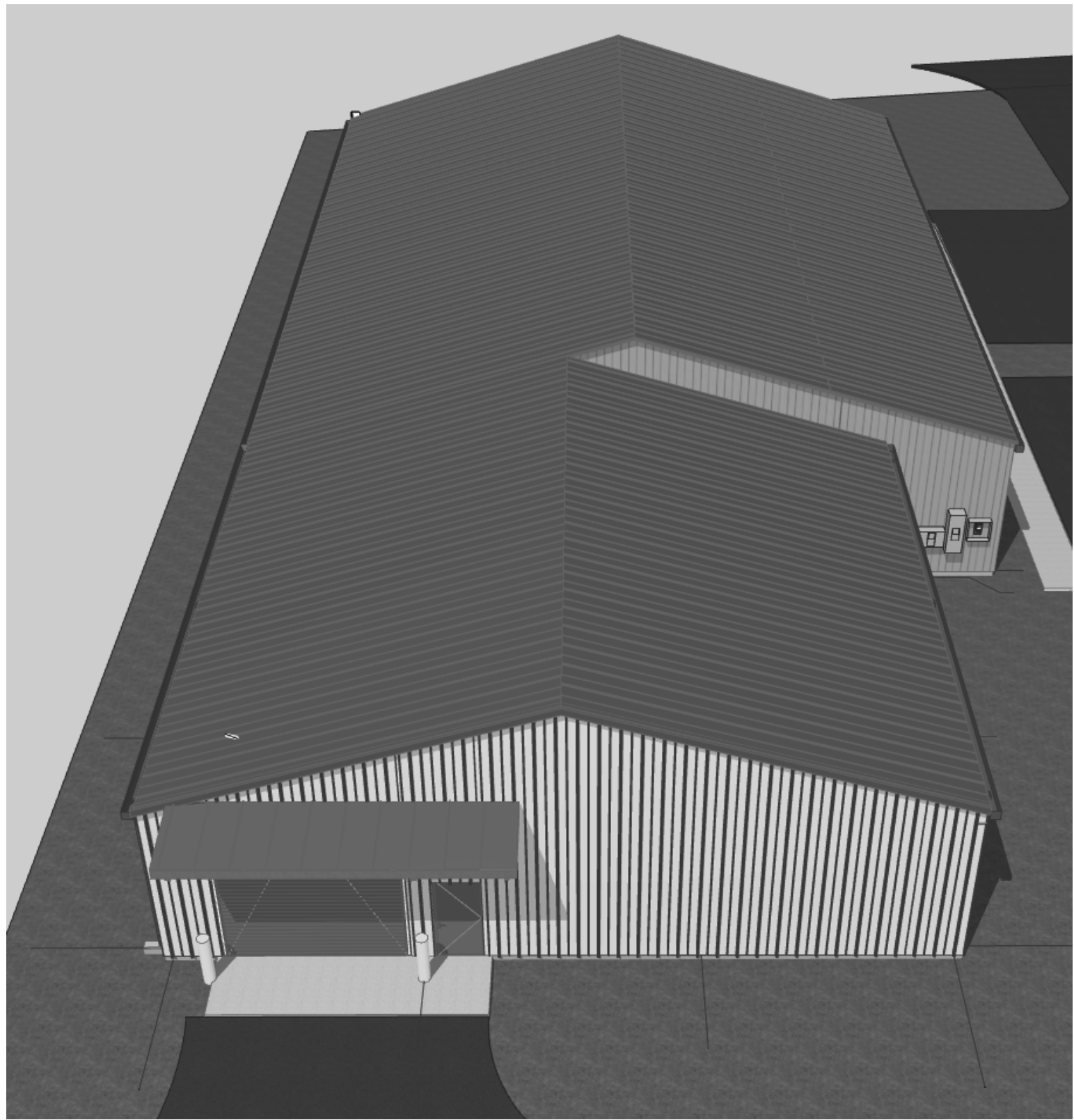
1 VIEW FROM SOUTH
SCALE: 1:1.62



2 VIEW FROM NORTH EAST
SCALE: 1:1.41



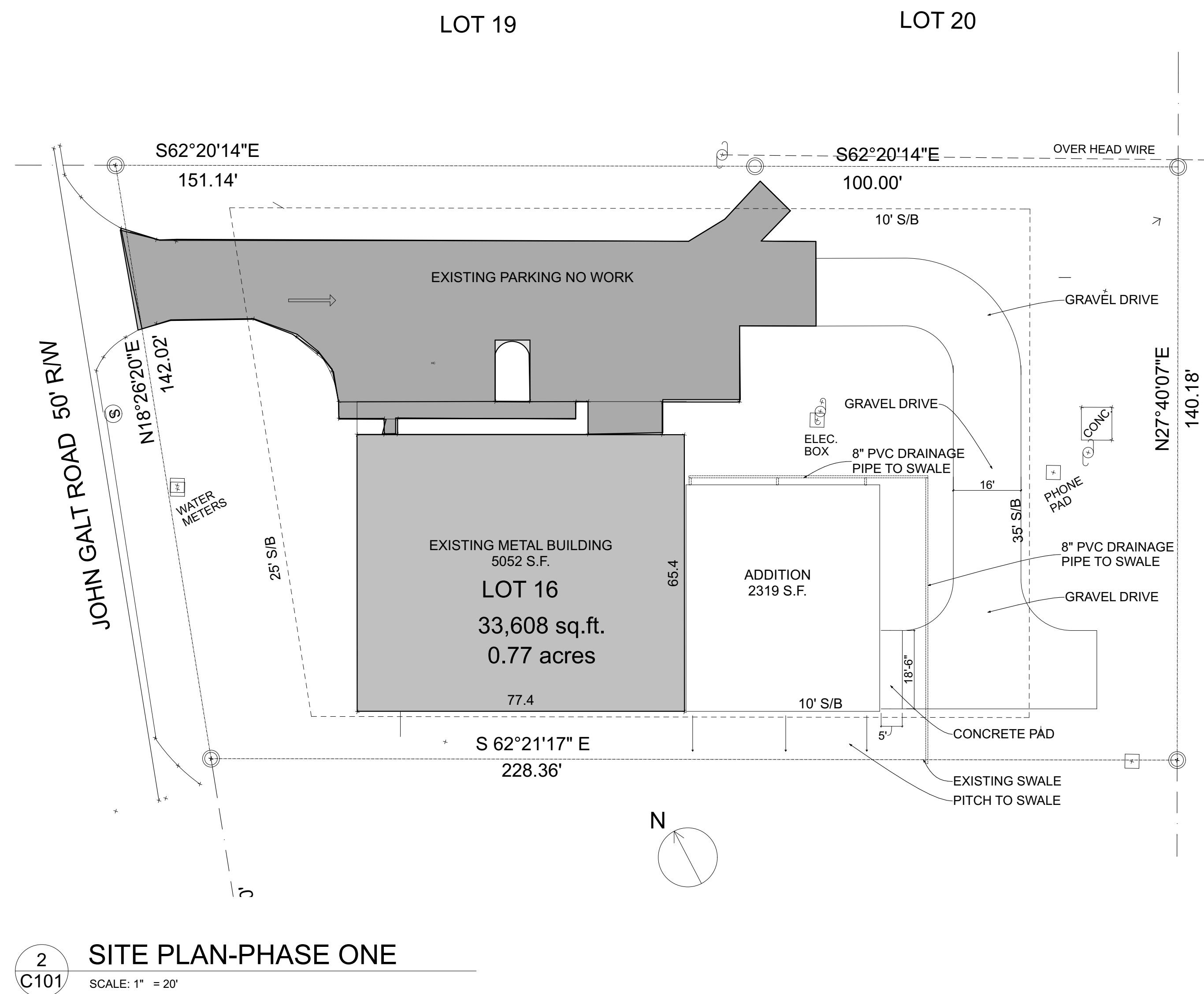
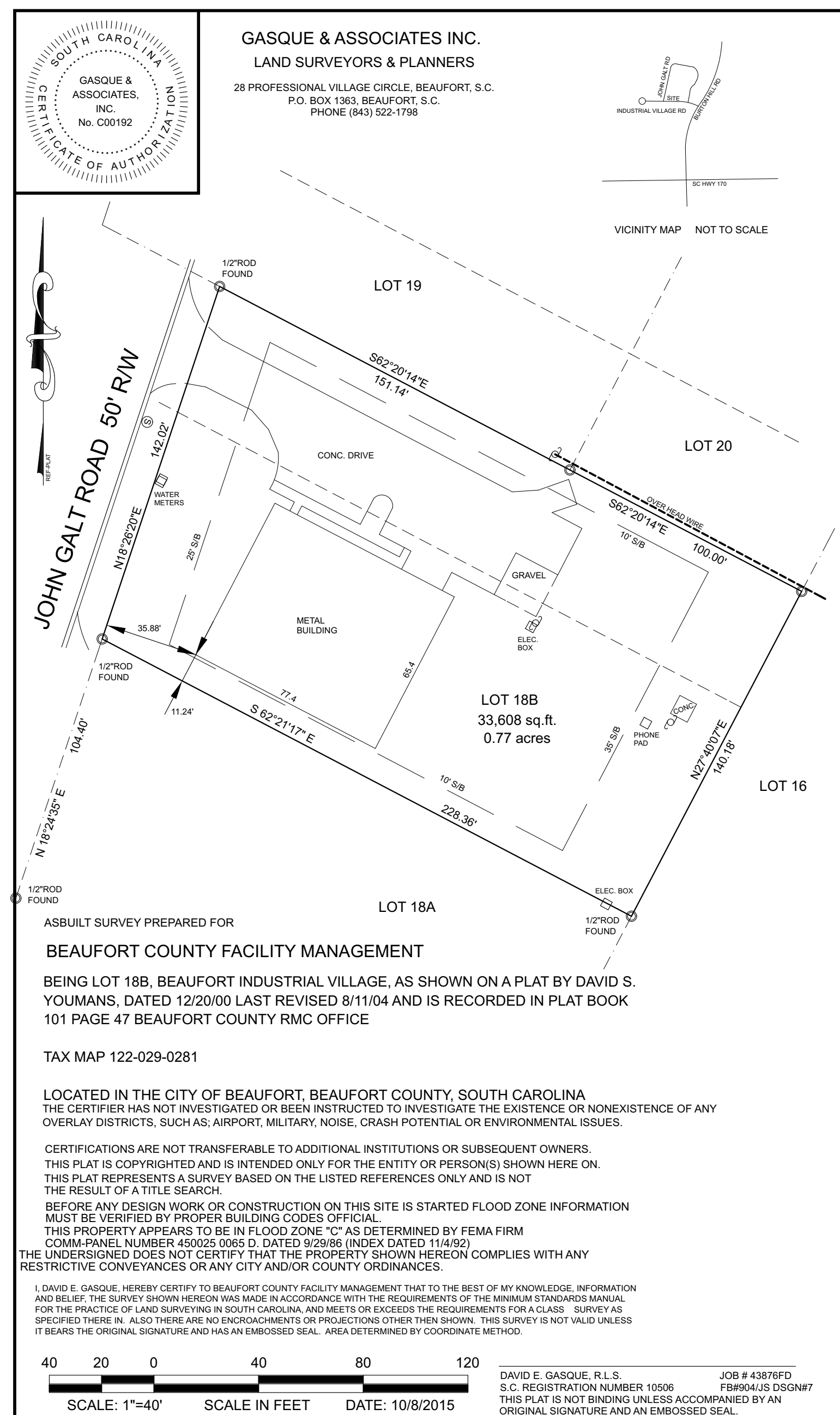
3 VIEW FROM EAST
SCALE: 1:1.60



4 VIEW OF ROOF
SCALE: 1:1.59

BASE BID

	Project No. 20170880-00	Checked	Drawn RWC	Project Title Beaufort County Voter Registration 15A John Galt Road Beaufort S.C.	Date 7/24/17
	for bidding only			Drawing Title SKETCHES	DRAWING NO. A-901
	R.W.CHAMBERS, ARCHITECT PO BOX 1181 BEAUFORT, S.C. 843-379-1000				



TOTAL LOT AREA 33608 S.F.

EXISTING BUILDING	5052 S.F.
EXISTING PAVING /WALKS	5412 S.F
	<u>10,464 S.F.</u>


TOTAL COVERAGE 12876 S.F.

LEGEND



SCALE: 1" = 40'

BASE BID

	Project No. 20170880-00	Checked	Drawn RWC	Project Title Beaufort County Voter Registration 15A John Galt Road Beaufort S.C.	Date 7/24/17		
	for bidding only			Drawing Title SITE PLAN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
					<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				
	R.W. CHAMBERS, ARCHITECT PO BOX 1181 BEAUFORT, S.C. 843-379-1000	DRAWING NO. C101					

Project No. 20170880-00	Checked	Drawn RWC	Project Title Beaufort County Voter Registration 15A John Galt Road Beaufort S.C.	Date 7/24/17												
for bidding only			Drawing Title SITE PLAN	<table border="1"> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> </tr> <tr> <td>MARK</td> <td>DATE</td> <td>DESCRIPTION</td> </tr> </table>										MARK	DATE	DESCRIPTION
MARK	DATE	DESCRIPTION														
R.W.CHAMBERS, ARCHITECT PO BOX 1181 BEAUFORT, S.C. 849-379-1000			DRAWING NO. C101													

for bidding only

R.W.CHAMBERS, ARCHITECT
PO BOX 1181 BEAUFORT, S.C.
843-379-1000

Checked	Drawn RWC
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Project Title	Beaufort County Voter Registration 15A John Galt Road Beaufort S.C.
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Drawing Title

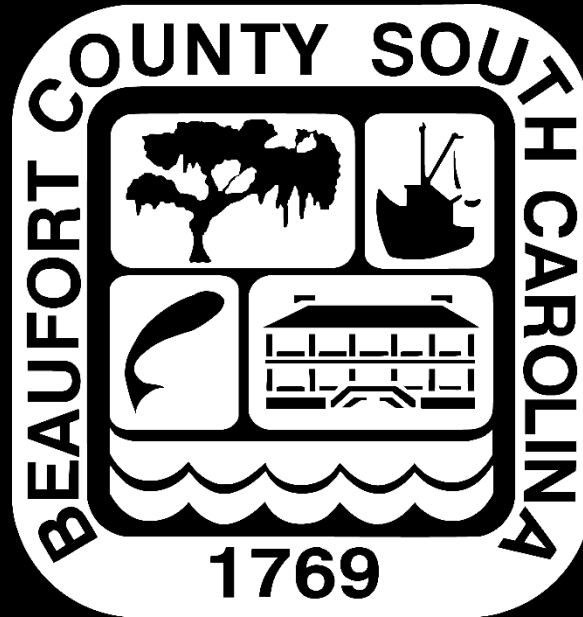
SITE PLAN

Date 7/24/17

MARK	DATE	DESCRIPTION

DRAWING NO.
C101

Human Services Department Update



Community Services Committee Meeting
January 22, 2018

Collaborative Organization *of* Services *for* Youth

Collaborative Organization of Services for Youth

Stepping Up:

***A National Initiative to Reduce the
Number of People with Mental Illness
in Jail***



Collaborative Organization of Services for Youth

COSA:

***Collaborative Organization of Services
for Adults***



Collaborative Organization of Services for Youth

Services for Homeless:

January 2018 Winter Storm Debrief



Collaborative Organization of Services for Youth

Contact Information:

Fred Leyda – *COSY Facilitator*

(843) 521-3152

FLEYDA@USCB.EDU

Ben Boswell – *Administrative Manager*

(843) 521-3153

RESPECT@USCB.EDU

Collaborative Organization of Services for Youth

STEPPING UP: A National Initiative to Reduce the Number of People with Mental Illnesses in Jails

THERE WAS A TIME WHEN NEWS OF JAILS serving more people with mental illnesses than in-patient treatment facilities was shocking. Now, it is not surprising to hear that jails across the nation serve an estimated 2 million people with serious mental illnesses each year¹—almost three-quarters of whom also have substance use disorders²—or that the prevalence of people with serious mental illnesses in jails is three to six times higher than for the general population.³ Once incarcerated, they tend to stay longer in jail and upon release are at a higher risk of returning than individuals without these disorders.

The human toll—and its cost to taxpayers—is staggering. Jails spend two to three times more on adults with mental illnesses that require intervention than on people without those needs,⁴ yet often do not see improvements in recidivism or recovery. Despite counties' tremendous efforts to address this problem, they are often thwarted by significant obstacles, such as coordinating multiple systems and operating with minimal resources. Without change, large numbers of people with mental illnesses will continue to cycle through the criminal justice system, often resulting in missed opportunities to link them to treatment, tragic outcomes, inefficient use of funding, and failure to improve public safety.

The National Initiative

Recognizing the critical role local and state officials play in supporting change, the [National Association of Counties \(NACo\)](#), the [Council of State Governments \(CSG\) Justice Center](#), and the [American Psychiatric Foundation \(APF\)](#) have come together to lead a national initiative to help advance counties' efforts to reduce the number of adults with mental and co-occurring substance use disorders in jails. With support from the U.S. Justice Department's [Bureau of Justice Assistance](#), the initiative will build on the many innovative and proven practices being implemented across the country. The initiative engages a diverse group of organizations with expertise on these issues, including those representing sheriffs, jail administrators, judges, community corrections professionals, treatment providers, people with mental illnesses and their families, mental health and substance use program directors, and other stakeholders.

The initiative is about creating a long-term, national movement—not a moment in time—to raise awareness of the factors contributing to the over-representation of people with mental illnesses in jails, and then using practices and strategies that work to drive those numbers down. The initiative has two key components:

1. **A CALL TO ACTION** demonstrating strong county and state leadership and a shared commitment to a multi-step planning process that can achieve concrete results for jails in counties of all sizes.

The Call to Action is more than a vague promise for reform; it focuses on developing an actionable plan that can be used to achieve county and state system changes. As part of this Call to Action, county elected officials are being asked to pass a resolution and work with other leaders (e.g., the sheriff, district attorney, treatment providers, and state policymakers), people with mental illnesses and their advocates, and other stakeholders on the following six actions:

- **Convene or draw on a diverse team** of leaders and decision makers from multiple agencies committed to safely reducing the number of people with mental illnesses in jails.

- **Collect and review prevalence numbers and assess individuals' needs** to better identify adults entering jails with mental illnesses and their recidivism risk, and use that baseline information to guide decision making at the system, program, and case levels.
- **Examine treatment and service capacity** to determine which programs and services are available in the county for people with mental illnesses and co-occurring substance use disorders, and identify state and local policy and funding barriers to minimizing contact with the justice system and providing treatment and supports in the community.
- **Develop a plan** with measurable outcomes that draws on the jail assessment and prevalence data and the examination of available treatment and service capacity, while considering identified barriers.
- **Implement research-based approaches** that advance the plan.
- **Create a process to track progress** using data and information systems, and to report on successes.

In addition to county leaders, national and state associations, criminal justice and behavioral health professionals, state and local policymakers, others with jail authority, and individuals committed to reducing the number of people with mental illnesses in jails should sign on to the Call to Action. Stepping Up participants will receive an online toolkit keyed to the six actions, with a series of exercises and related distance-learning opportunities, peer-to-peer exchanges, and key resources from initiative partners.⁵ The online toolkit will include self-assessment checklists and information to assist participants working in counties in identifying how much progress they have already made and a planning template to help county teams develop data-driven strategies that are tailored to local needs.

2. **A NATIONAL SUMMIT** to advance county-led plans to reduce the number of people with mental illnesses in jails.

Supported by the American Psychiatric Foundation, a summit will be convened in the spring of 2016 in Washington, DC, that includes counties that have signed on to the Call to Action, as well as state officials and community stakeholders such as criminal justice professionals, treatment providers, people with mental illnesses and their advocates, and other subject-matter experts. The summit will help counties advance their plans and measure progress, and identify a core group of counties that are poised to lead others in their regions. Follow-up assistance will be provided to participants to help refine strategies that can be used in counties across the nation. After the 2016 summit, participants will be notified of potential opportunities for sites to be selected for more intensive assistance through federal and private grant programs.

Although much of the initiative focuses on county efforts, states will be engaged at every step to ensure that their legislative mandates, policies, and resource-allocation decisions do not create barriers to plan implementation.

To learn more about the initiative or to join the Call to Action, go to StepUpTogether.org.

Endnotes

1. Steadman, Henry, et al., "Prevalence of Serious Mental Illness among Jail Inmates." *Psychiatric Services* 60, no. 6 (2009): 761–765. These numbers refer to jail admissions. Even greater numbers of individuals have mental illnesses that are not "serious" mental illnesses, but still require resource-intensive responses.
2. Abram, Karen M., and Linda A. Teplin, "Co-occurring Disorders Among Mentally Ill Jail Detainees," *American Psychologist* 46, no. 10 (1991): 1036–1045.
3. Steadman, Henry, et al., "Prevalence of Serious Mental Illness among Jail Inmates."
4. See, e.g., Swanson, Jeffery, et al., *Costs of Criminal Justice Involvement in Connecticut: Final Report* (Durham: Duke University School of Medicine, 2011).
5. Among the key partners are the [National Alliance on Mental Illness](#); [Major County Sheriffs' Association](#); [National Association of County Behavioral Health & Developmental Disability Directors](#); [National Association of State Alcohol and Drug Abuse Directors](#); [National Association of State Mental Health Program Directors](#); [National Council for Behavioral Health](#); [National Sheriffs' Association](#); and [Policy Research Associates](#).

RESOLUTION 2018 / X

A RESOLUTION TO SUPPORT THE “STEPPING UP INITIATIVE TO REDUCE THE NUMBER OF PEOPLE WITH MENTAL ILLNESSES IN JAILS”

WHEREAS, counties routinely provide treatment services to the estimated 2 million people with serious mental illnesses booked into jail each year; and

WHEREAS, prevalence rates of serious mental illnesses in jails are three to six times higher than for the general population; and

WHEREAS, almost three-quarters of adults with serious mental illnesses in jails have co-occurring substance use disorders; and

WHEREAS, adults with mental illnesses tend to stay longer in jail and upon release are at a higher risk of recidivism than people without these disorders; and

WHEREAS, county jails spend two to three times more on adults with mental illnesses that require interventions compared to those without these treatment needs; and

WHEREAS, without the appropriate treatment and services, people with mental illnesses continue to cycle through the criminal justice system, often resulting in tragic outcomes for these individuals and their families; and

WHEREAS, Beaufort County and all counties take pride in their responsibility to protect and enhance the health, welfare and safety of its residents in efficient and cost-effective ways; and

WHEREAS, [INSERT COUNTY SPECIFIC INFO/DATA TO HIGHLIGHT e.g. Beaufort County has ... which helps people stay out of jail by offering mental health and substance use disorder treatment; and

WHEREAS, through *Stepping Up*, the National Association of Counties, the Council of State Governments Justice Center and the American Psychiatric Association Foundation are encouraging public, private and nonprofit partners to reduce the number of people with mental illnesses in jails;

NOW, THEREFORE, BE IT RESOLVED, that Beaufort County Council does hereby sign on to the Call to Action to reduce the number of people with mental illnesses in our county jail, commit to sharing lessons learned with other counties in my state and across the country to support a national initiative and encourage all county officials, employees and residents to participate in *Stepping Up*. We resolve to utilize the comprehensive resources available through *Stepping Up* to:

- Convene or draw on a diverse team of leaders and decision makers from multiple agencies committed to safely reducing the number of people with mental illnesses in jails.

- Collect and review prevalence numbers and assess individuals' needs to better identify adults entering jails with mental illnesses and their recidivism risk, and use that baseline information to guide decision making at the system, program, and case levels.
- Examine treatment and service capacity to determine which programs and services are available in the county for people with mental illnesses and co-occurring substance use disorders, and identify state and local policy and funding barriers to minimizing contact with the justice system and providing treatment and supports in the community.
- Develop a plan with measurable outcomes that draws on the jail assessment and prevalence data and the examination of available treatment and service capacity, while considering identified barriers.
- Implement research-based approaches that advance the plan.
- Create a process to track progress using data and information systems, and to report on successes.

DONE this X day of February, 2018

COUNTY COUNCIL OF BEAUFORT COUNTY

By: _____
D. Paul Sommerville, Chairman

APPROVED AS TO FORM:

Thomas J. Keaveny, II, County Attorney

ATTEST:

Ashley M. Bennett, Clerk to Council